

AGENDA  
Nantucket Land Bank Commission  
Regular Meeting of March 12, 2024  
Land Bank Conference Room, 22 Broad Street, Nantucket, MA

CALL TO ORDER: 4:00 P.M.

A. CONVENE IN OPEN SESSION

1. PUBLIC COMMENT / STAFF ANNOUNCEMENTS
2. REGULAR BUSINESS
  - a. Annual Town Meeting Warrant Articles – Review
3. AGRICULTURAL MANAGEMENT
  - a. Willow Farm Flower Truck at Bamboo Forest/154 Madaket Road – Request
  - b. My Grandfather’s Farm/101 Hummock Pond Road – Farm Update
  - c. American Farmland Trust – Contract Amendment
4. PROPERTY MANAGEMENT
  - a. Lily Pond/8 Wesco Place – Restoration Project Presentation
  - b. Consue Springs – Restoration Planning
  - c. 14 Cathcart Road – Change Order Discussion
  - d. Cisco Beach – Restroom Update
5. TRANSFER BUSINESS
  - a. “M” Exemption Update
6. APPROVAL OF MINUTES
  - a. Regular Meeting of February 13, 2024, and February 27, 2024
7. CONSENT ITEMS
  - a. Monthly Transfer Statistics
  - b. Monthly Financial Report – January 2024
  - c. Warrant Authorization – Cash Disbursement
  - d. Community Garden/166 Hummock Pond Road – Engraved Memorial Rock Request
  - e. Mt. Vernon Farm/168 Hummock Pond Road – Sustainable Nantucket Farm Fresh Feast Event Request (7/24/24)
  - f. Long Pond Landing/48 S. Cambridge Street – Hospital Thrift Shop Drop Off Request (Spring through Summer 2024)
  - g. 158 Orange Street – Neighbors Access Request
8. COMMISSIONERS ADDITIONAL QUESTIONS AND CONCERNS

B. EXECUTIVE SESSION: *The Executive Session is for Purpose 6 [G.L. c. 30A, 21(a)(6)]. The particular transactions and parcels of real estate are not identified since disclosure of the property information may have a detrimental impact on the Land Bank's negotiating position with one or more third parties; and for Purpose 3 [G.L. c. 30A, 21(a)(3)], discussions*

*concerning strategy with respect to ongoing litigation. The Commission will not reconvene in open session at the conclusion of executive session.*

1. Approval of Executive Session Minutes
2. Ongoing Litigation Matters:
  - a. Suffolk Superior Court Docket No. 2284CV02606: Richard Corey, Trustee of Twenty-One Commercial Wharf Nominee Trust v. Massachusetts Department of Environmental Protection, Nantucket Islands Land bank, and Nantucket Conservation Commission. (Petrel Landing/17 Commercial Street)
  - b. Land Court Department Action No. 22 MISC 000409: Nantucket Islands Land Bank v. Hunter S. Ziesing and Marcy E. Ziesing, Co-Trustees of the Lampoon Nominee Trust (6 Wesco Place)
  - c. Nantucket Superior Court, C.A. No. 2275CV00024: NILB v. Architectural Access Board – Easy Street Park Variance denial
3. Real Estate Acquisition

#### C. ADJOURNMENT

# *Willow Hill Farm*

## **FLOWER TRUCK FARM STAND PROPOSAL**



### **PROJECT DESCRIPTION**

We are proposing the creation of a license agreement to sell locally produced farm goods through an honor till mobile farm stand at The Bamboo Forest.

Our ideal farm stand rhythm would be harvesting at sunrise, filling the truck and parking it under the shaded tree until sunset. Instead of having regular hours we'd prefer the flexibility of dawn and dusk because that defines our harvest window and includes the traffic boost along Madaket Road just before sunset. This system naturally tapers our hours in the off season and extends them in the high season. We're right around the corner and will be setting up a camera for monitoring inventory so we can restock or bring it home earlier if we sell out for the day.

For the 2024 season we aim to begin with our tulips in April on Saturdays and build up as our other crops bloom to a summer rhythm of Thursdays-Sundays tapering off again in the fall as the weather cools.

The above mock up is intended to provide a loose visual and is not to exact scale or position. Flower truck dimensions: 4ft 5" wide, 6ft 8" tall, 10ft 3" long

Thank you for your consideration,  
Abergavenny Webb

## AMENDMENT

Between

**THE NANTUCKET ISLAND LAND BANK**

And

**AMERICAN FARMLAND TRUST**

The agreement between The Nantucket Island Land Bank and American Farmland Trust (AFT), is hereby amended to change or add the following:

1. In section 2. Strike 2023 and replace with 2024:
2. Strike Section 4 and replace it with:

The LAND BANK will pay the CONTRACTOR compensation according to the following schedule as payment in full for services:

- Technical Specialists (for example, Soil Health Specialist Caro Rozzell or GIS specialist Shradha Shrestha ) \$82.50/hour
- Program Manager (for example, Program Manager Jamie Pottern; or GIS Manager Ryan Murphy) \$93.50/hour
- Director (For Example, New England Director James Habana Hafner \$137.50/hour

This agreement may be subject to budgetary limits, and, in such case, the LAND BANK shall not be obligated to pay the CONTRACTOR any amount of fees or expenses in excess of \$55,000\* without the express prior approval of the Land Bank Commission.

3. In Exhibit A strike item 4.

\*please note the last contract amendment was for \$30,000  
so this adds up to \$25,000 for 2024

All other terms, conditions and provisions of the original agreement and all amendments thereto remain in full force and effect and are hereby made a part of this amendment.

**DATE**

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**Nantucket Island Land Bank**

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**DATE**

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**American Farmland Trust**

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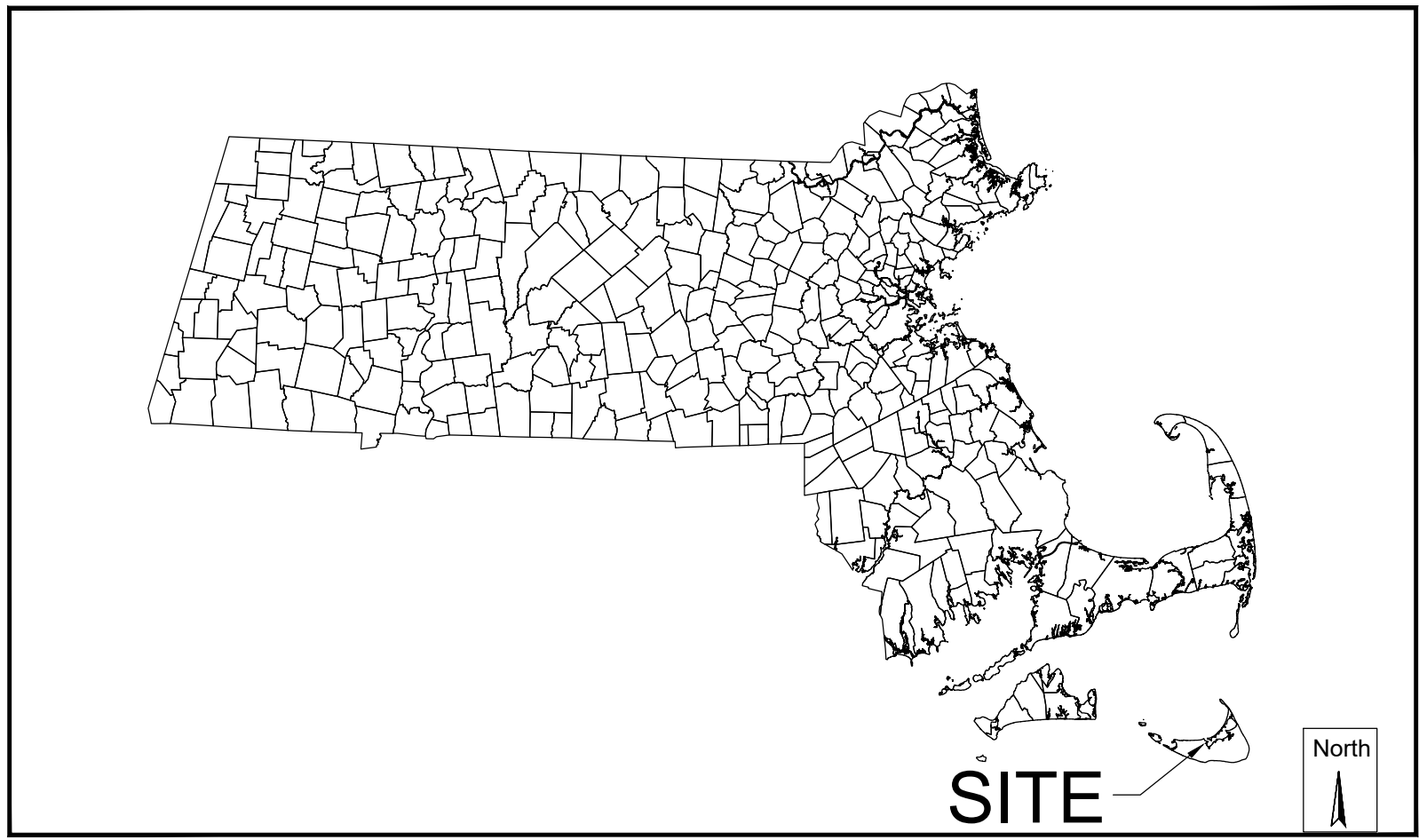


# LILY POND PARK IMPROVEMENTS

## 50% DESIGN DEVELOPMENT

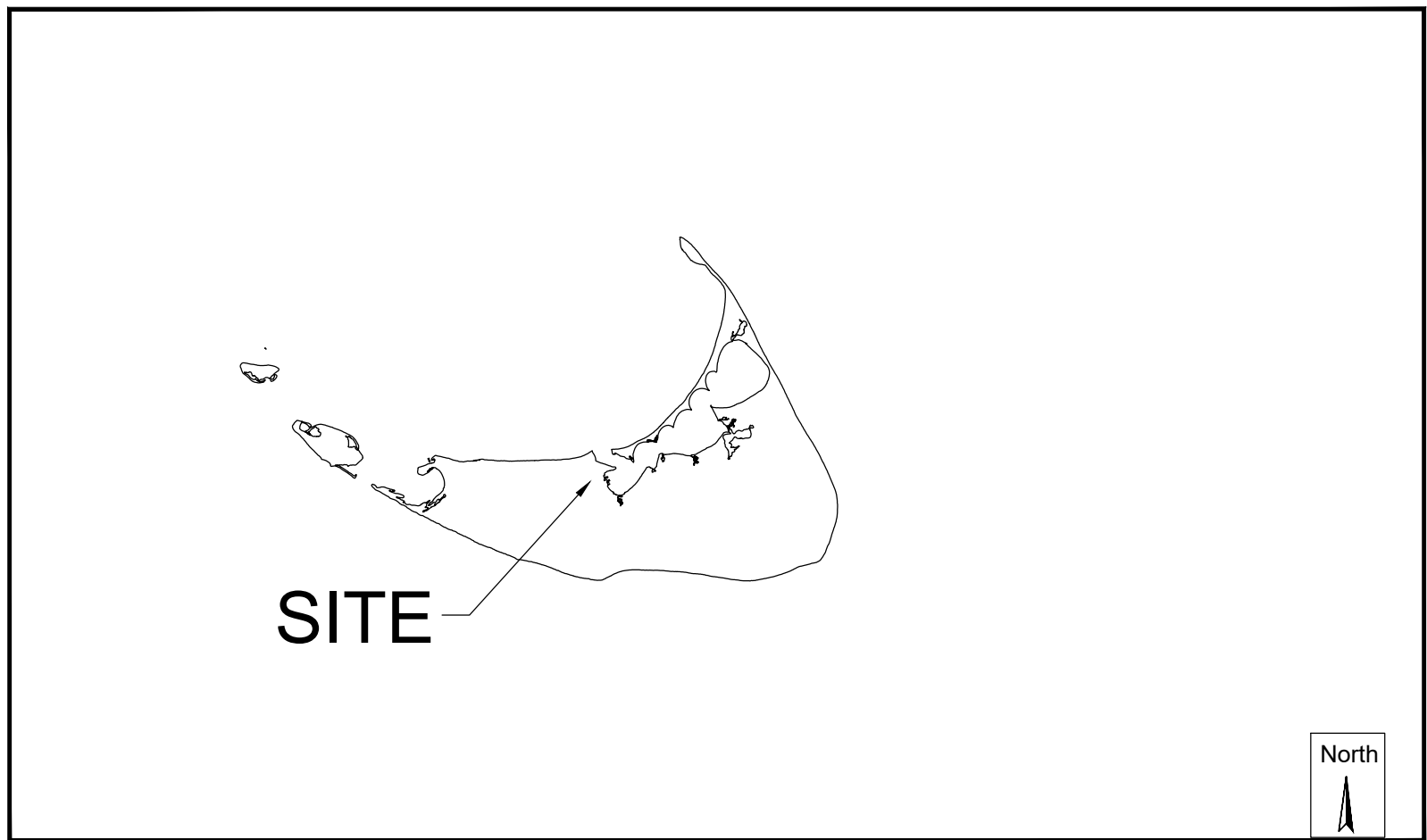
### NANTUCKET, MASSACHUSETTS

FEBRUARY 2024



MASSACHUSETTS

Graphic Scale  
0 150000  
SCALE IN FEET  
1:150000



NANTUCKET

Graphic Scale  
0 12000  
SCALE IN FEET  
1:12000



VICINITY MAP

Graphic Scale  
1-inch = 1000-feet

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	NOTES SHEET
3	DEMOLITION & EROSION CONTROL PLAN
4	KEY PLAN
5	RESTORATION AREA 1
6	RESTORATION AREA 2
7	RESTORATION AREA 3 - GRADING
8	RESTORATION AREA 3 - SITE LAYOUT
9	RESTORATION AREA 4
10	WETLAND RESTORATION SECTIONS
11	BOARDWALK PROFILES
12	CONSTRUCTION DETAILS (1)
13	CONSTRUCTION DETAILS (2)
14	PLANTING PLAN
15	PLANTING DETAIL PLAN
16	PLANTING DETAILS

- GENERAL NOTES:
- THIS PLAN SET IS NOT FOR CONSTRUCTION.
  - SITE INFORMATION:  
PLAT: 242, 1802, 320, 712  
LOT: 43, 74, 204, 001  
ADDRESS: 8 WESCO PLACE, 36 LILY STREET, 17-19 N LIBERTY STREET  
ZONING DISTRICT: R40
  - THE PROPERTY IS LOCATED WITHIN F.I.R.M. ZONE X AS SHOWN ON COMMUNITY PANEL NO.250019 0086G  
DATED JUNE 9, 2014.
  - WETLANDS ARE PRESENT ON THE SITE.

Plan Set:		LILY POND PARK IMPROVEMENTS 50% DESIGN DEVELOPMENT NANTUCKET, MASSACHUSETTS	
Prepared For:		The Nantucket Land Bank 22 Broad Street Nantucket, MA (508) 228-7240	
Prepared By:		Horsley Witten Group, Inc. Sustainable Environmental Solutions www.horsleywitten.com	
Headquarters 90 Route 6A Sandwich, MA 02563 (508) 833-6600 voice (508) 833-3150 fax		112 Water Street, 6th Floor Boston, MA 02109 (857) 263-8193 voice (617) 574-4799 fax	
1 Turks Head Place Suite 300 Providence, RI 02903 (401) 272-1717 voice (401) 439-8368 fax		113 R2 Water Street Exeter, NH 03833 (603) 658-1660 voice	
Date Issued: FEBRUARY 2024	Registration:	Revisions	Project Number: 20008
Designed By: EEB/JMP	DRAFT NOT FOR CONSTRUCTION	1	Sheet Number: 1 of 16
Drawn By: EEB/JMP		2	Drawing Number: C - 1
Checked By: BRK		3	
		4	
		Rev. Date By Appr. Description	



last modified: 02/05/24 printed: 02/05/24 by eb H:\Projects\2020\2008 Lily Pond Park Nantucket\Drawings\2008 CV.dwg

EXISTING CONDITION NOTES:

- 1. THE EXISTING CONDITIONS DEPICTED WERE TAKEN FROM THE SURVEY PLAN ENTITLED "EXISTING CONDITIONS PLOT PLAN: LILY POND" PREPARED BY NANTUCKET SURVEYORS, LLC ON 12/13/23.
- 2. TOPO IS FROM THE 2018 NANTUCKET TOWN GIS AND IS ON NAVD88 DATUM.
- 3. THE WATER ELEVATIONS WERE TAKEN ON 3/25/19 AND 10/17/23 UNLESS OTHERWISE NOTED.
- 4. THE WETLAND DELINEATION SHOWN HEREON WAS CONDUCTED BY THE HORSLEY WITTEN GROUP, INC. ON 5/20/22.

GENERAL CONSTRUCTION NOTES:

- 1. ALL SITE WORK TO COMPLETE THIS PROJECT AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 2. IMMEDIATELY CONTACT AND COORDINATE WITH THE ENGINEER AND OWNER IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED.
- 3. UTILIZE ALL PRECAUTIONS AND MEASURES TO ENSURE THE SAFETY OF THE PUBLIC. ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING THE INSTALLATION OF TEMPORARY FENCING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAIL AND/OR FLAGMEN AS DETERMINED NECESSARY BY THE TOWN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF POLICE DETAIL AND FOR COORDINATING WITH THE LOCAL OR STATE POLICE DEPARTMENT FOR ALL REQUIRED POLICE DETAIL.
- 4. MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES INCLUDING POLICE DETAILS AND POST ALL BONDS, IF NECESSARY, ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND THE ENGINEER.
- 5. ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE AND ARE BASED ON THE BEST INFORMATION AVAILABLE. PRIOR TO THE START CONSTRUCTION VERIFY THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLING ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- 6. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS INDICATED ON THE DRAWINGS ARE BASED ON THE SURVEY PLAN ENTITLED EXISTING CONDITIONS PLOT PLAN: LILY POND PREPARED BY NANTUCKET SURVEYORS, LLC ON 12/13/23. MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE TOWN, AND "DIGSAFE" (1-888-344-7233) AT LEAST THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR MUST RESOLVE CONFLICTS BETWEEN THE PROPOSED UTILITIES AND FIELD-LOCATED UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED, INCOMPLETELY OR INACURATELY SHOWN. THE CONTRACTOR MUST MAINTAIN ACCURATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
- 7. THE CONTRACTOR MUST MAINTAIN ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ALL COST RELATED TO THE REPAIR OF UTILITIES. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES MUST BE DONE BY HAND.
- 8. COORDINATE ALL TRENCHING WORK WITHIN ROADWAYS WITH THE PROPER LOCAL & STATE AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCH WORK. IF THIS WORK IS REQUIRED TO OCCUR OUTSIDE THE AGREED UPON HOURS OF OPERATION FOR THE FACILITY, THE CONTRACTOR MUST PLAN ACCORDINGLY.
- 9. SAWCUT ALL TRENCH WORK WITHIN EXISTING PAVEMENT AS INDICATED ON THE DRAWINGS. BACKFILL AND COMPACT TRENCH WORK AS INDICATED ON THE DRAWING AND IN THE SPECIFICATIONS. IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTION, AS DETERMINED BY THE ENGINEER, WITHIN THE WARRANTY PERIOD, CONTRACTOR IS REQUIRED TO REMOVE, PATCH AND REPAVE AFTER ONE COMPLETE 12-MONTH CYCLE.
- 10. IMPORT ONLY CLEAN MATERIAL. MATERIAL FROM AN EXISTING OR FORMER 21E SITE AS DEFINED BY THE MASSACHUSETTS CONTINGENCY PLAN 310 CMR 40.0000 WILL NOT BE ACCEPTED.
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH AND MAINTAIN ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION INCLUDING BENCHMARK LOCATIONS AND ELEVATIONS AT CRITICAL AREAS. COORDINATE WITH THE ENGINEER THE LOCATION OF ALL CONTROL POINTS AND BENCHMARKS.
- 12. SITE LAYOUT SURVEY REQUIRED FOR CONSTRUCTION MUST BE PROVIDED BY THE CONTRACTOR AND PERFORMED BY A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR FOR ALL SITE SURVEY WORK.
- 13. MAINTAIN ALL GRADE STAKES SET BY THE SURVEYOR. GRADE STAKES ARE TO REMAIN UNTIL A FINAL INSPECTION OF THE ITEM HAS BEEN COMPLETED BY THE ENGINEER. RE-STAKING OF PREVIOUSLY SURVEYED SITE FEATURES IS THE RESPONSIBILITY (INCLUDING COST) OF THE CONTRACTOR.
- 14. UNLESS OTHERWISE INDICATED ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS, ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE MOST RECENT VERSION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES 2020 EDITION, AND THE SUPPLEMENTAL SPECIFICATIONS DATED JUNE 30, 2020).
- 15. PROVIDE ALL CONSTRUCTION SERVICE IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION CONTAINMENT, AND TRENCH WORK.
- 16. RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE PER SPECIFICATIONS. LEAVE ALL AREAS NOT DISTURBED BY CONSTRUCTION IN THEIR NATURAL STATE. TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES, OTHER LANDSCAPING AND/OR NATURAL FEATURES. WHEREAS THE PLANS DO NOT SHOW ALL LANDSCAPE FEATURES, EXISTING CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WORK.
- 17. REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. PROMPTLY REMOVE ALL DEMOLITION DEBRIS FROM THE SITE TO AN APPROVED DUMP SITE.
- 18. ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- 19. DO NOT WASH ANY CONCRETE TRUCKS ONSITE. REMOVE BY HAND ANY CEMENT OR CONCRETE DEBRIS LEFT IN THE DISTURBED AREA.
- 20. BURIAL OF ANY STUMPS, SOLID DEBRIS, AND/OR STONES/BOULDERS ONSITE IS PROHIBITED. DO NOT USE ROAD SALT OR OTHER DE-ICING CHEMICALS ON THE ACCESS ROADWAY.
- 21. AT THE END OF CONSTRUCTION, REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE AS INDICATED IN THE SPECIFICATIONS. PERFORM A THOROUGH INSPECTION OF THE WORK PERIMETER. COLLECT AND REMOVE ALL MATERIALS AND BLOWN OR WATER CARRIED DEBRIS FROM THE SITE.

STORMWATER FACILITY OPERATION & MAINTENANCE:

- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES AS OUTLINED BELOW DURING CONSTRUCTION AND UNTIL SUCH TIME THAT THE COMPLETED PROJECT IS ACCEPTED BY THE OWNER AND THE ENGINEER.
- 1. INSPECT AND RESTORE/CLEAN ALL FACILITIES (INLETS, MANHOLES, STORMWATER MANAGEMENT AREAS AS DESCRIBED BELOW OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.
  - 2. REMOVE AND DISPOSE ALL SEDIMENT AND DEBRIS TO A PRE-APPROVED LOCATION.
  - 3. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL INFORMATION PERTAINING TO STORMWATER FACILITY OPERATION AND MAINTENANCE REQUIREMENTS. MAINTAIN A WORKING COPY OF THE SWPPP ON SITE AT ALL TIMES.
  - 4. AT A MINIMUM INSPECT MONTHLY AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO 1" OF RAINFALL, AS NECESSARY FOR THE ENTIRE DURATION OF THE CONSTRUCTION PROJECT AND THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION.
  - 5. SPECIFIC MAINTENANCE REQUIRED DURING CONSTRUCTION:
    - A. DRAINAGE STRUCTURES (INLETS, MANHOLES, CATCHBASINS, WATER QUALITY UNITS): MONITOR AND REGULARLY INSPECT ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES FOR PROPER OPERATION, COLLECTION OF LITTER OR TRASH, AND STRUCTURAL DETERIORATION. CLEAN AND REMOVE SEDIMENT FRO THE STRUCTURES (INCLUDING SUMPS) AS NECESSARY, AND REPAIR WHEN REQUIRED.
    - B. RIP-RAP SLOPE PROTECTION: MONITOR, REGULARLY INSPECT AND REPAIR AS NECESSARY.
    - C. SEDIMENT FOREBAY: REGULARLY INSPECT TO ENSURE PROPER FUNCTION. REMOVE SEDIMENT BUILD-UP ON THE FLOOR OF THE FOREBAY AND PROPERLY DISPOSE, AS NECESSARY, TO LIMIT CLOGGING. CLEAN SEDIMENT FOREBAYS PRIOR TO COMPLETION OF CONSTRUCTION.
    - D. CONSTRUCTED WETLAND SYSTEM: MONITOR AND INSPECT STRUCTURAL COMPONENTS OF THE SYSTEM, INCLUDING ORIFICE STRUCTURES, WEIR WALLS, DRAINAGE INLETS, TRASH CHECK RACKS, VALVES, PIPES, AND SPILLWAY STRUCTURES, FOR PROPER FUNCTION. CLEAN AND REPAIR ANY CLOGGED OPENINGS IDENTIFIED DURING INSPECTIONS. FOR PROPER OPERATION, REMOVE SEDIMENT OR ORGANIC BUILD-UP FROM THE CONSTRUCTED WETLAND AS NEEDED FOR PROPER OPERATION. REMOVE AND REPLACE ILL-ESTABLISHED, DEAD OR SEVERELY DISEASED PLANTS. PRUNE AND REMOVE FROM THE SITE ANY INVASIVE VEGETATION ENCRACING UPON THE PERIMETER OF THE FACILITY. CHECK EMBANKMENTS FOR STABILITY AND REMOVE ANY BURROWING ANIMALS. RE-VEGETATE PER THE PLANTING DESIGN ALL BARREN AREAS WITHIN THE EXTENTS OF THE FACILITY.
    - E. ROUTINE MAINTENANCE: OTHER ROUTINE MAINTENANCE INCLUDES THE REMOVAL OF TRASH AND LITTER FROM PAVED AND PERIMETER AREAS, AND STREET AND PARKING LOT SWEEPING UPON COMPLETION OF CONSTRUCTION TO AVOID EXCESSIVE ACCUMULATION OF SEDIMENT IN THE DRAINAGE SYSTEM. INSPECT THE PIPES AND STRUCTURES FOR SEDIMENT ACCUMULATION AND PROPER FLOW.

BASIC CONSTRUCTION SEQUENCE:

THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, ENGINEERS, AND LANDSCAPE ARCHITECT AND SUBMIT A PROPOSED CONSTRUCTION SEQUENCE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

- 1. SURVEY AND STAKE THE PROPOSED LIMIT OF DISTURBANCE AND LIMIT OF SEDIMENTATION BARRIERS.
- 2. PLACE SEDIMENTATION BARRIERS AS INDICATED ON DRAWINGS AND STAKED OUT IN THE FIELD. UNDER NO CIRCUMSTANCES IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. LIMIT OF DISTURBANCE AS INDICATED ON DRAWINGS AS APPROVED BY THE LOCAL CONSERVATION COMMISSION AND DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP).
- 3. INSTALL TEMPORARY CONSTRUCTION ENTRANCES IN LOCATIONS INDICATED ON DRAWINGS. NO OTHER ENTRANCES ARE TO BE USED TO GAIN ACCESS TO THE SITE BY ANY CONSTRUCTION OR DELIVERY VEHICLES.
- 4. BEGIN CLEARING THE SITE AS REQUIRED.
- 5. SURVEY AND STAKE THE PROPOSED STORMWATER MANAGEMENT AREAS, WETLAND RESTORATION AREAS, DRAINAGE LINES AND STRUCTURES.
- 6. EXCAVATE AND ROUGH GRADE THE PROPOSED STORMWATER MANAGEMENT AREAS, WETLAND RESTORATION AREAS AND ANY ADDITIONAL TEMPORARY BASINS NECESSARY TO CONTROL SITE RUNOFF AND SEDIMENT. TEMPORARILY STABILIZE/SEED PERMANENT STORMWATER MANAGEMENT AREAS AS NECESSARY TO REDUCE SIDE SLOPE EROSION AND SEDIMENT ACCUMULATION.
- 7. BEGIN CLEARING AND GRUBBING THE AREAS OF STORMWATER MANAGEMENT AREAS. TOPSOIL IS TO BE STRIPPED FROM THE AREA OF THE PROPOSED STORMWATER MANAGEMENT AREAS AND STOCKPILED IN APPROVED OFF SITE LOCATIONS. TOPSOIL STOCKPILES MUST BE PROTECTED BY A SEDIMENT BARRIER.
- 8. INSTALL TEMPORARY CONVEYANCE DEVICES (SWALES, CHECK DAMS, PIPES, ETC.) AS NECESSARY TO MANAGE ON SITE RUNOFF AND PROTECT ABUTTING PROPERTIES.
- 9. INSTALL DRAINAGE PIPES, DRAINAGE MANHOLES, CATCH BASINS, AND UNDERGROUND TREATMENT STRUCTURES. BEGIN WORK AT THE STORMWATER MANAGEMENT AREAS AND PROGRESS UP-GRADE. PROTECT DISCHARGE OUTLETS WITH RIP-RAP APRONS. THE STORMWATER MANAGEMENT AREA(S) AND DRAINAGE NETWORK ARE TO BE PROTECTED FROM SEDIMENTATION UNTIL ALL UN-STABILIZED AREAS ARE STABILIZED WITH STONE SUB-BASE OR VEGETATION. INSTALL SEDIMENT BARRIERS AT ALL POINTS OF ENTRY INTO THE DRAINAGE NETWORK. TAKE PARTICULAR CARE TO PROTECT THE UNDERGROUND STRUCTURES FROM SEDIMENT.
- 10. BEGIN ROUGH GRADING AREAS FOR PARKING AND PATHWAYS. BRING ROUGH GRADING TO PROPER ELEVATIONS AS SOON AS PRACTICABLE. COORDINATE WORK TO MINIMIZE TIME SOILS ARE UN-STABILIZED.
- 11. PERMANENTLY SEED ALL DISTURBED AREAS OUTSIDE OF THE AREA TO BE PAVED.
- 12. UPON COMPLETION OF DRAINAGE INSTALLATION, PLACE COMPACTED GRAVEL BASE AND FINISH GRADE OF THE PARKING AREAS IN ACCORDANCE WITH THE SITE PLANS
- 13. FINISH PERMANENT STABILIZATION. COMPLETE PERMANENT STORMWATER MANAGEMENT AREA AND WETLAND RESTORATION AREA SEEDING AND PLANTING AFTER THE CONTRIBUTING DRAINAGE AREAS HAVE REACHED A MINIMUM OF 80% STABILIZATION.
- 14. COMPLETE ALL REMAINING PLANTING AND SEEDING.
- 15. SWEEP THE ROADWAY TO REMOVE ALL SEDIMENTS. REPAIR DRAINAGE OUTLETS AND BASINS AS REQUIRED. CLEAN AND FLUSH THE DRAINAGE STRUCTURES AND PIPES AT THE END OF CONSTRUCTION AND REMOVE ALL ACCUMULATED SEDIMENTS IN THE STORMWATER MANAGEMENT AREAS. CONTRACTOR MUST INSPECT THE DRAINAGE NETWORK AND REPAIR ANY DAMAGE IMMEDIATELY.
- 16. ENGINEER TO APPROVE THE REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS AND DETERMINE WHEN THE CONTRIBUTING AREA HAS REACHED A MINIMUM OF 80% STABILIZATION.

GENERAL GRADING AND DRAINAGE NOTES:

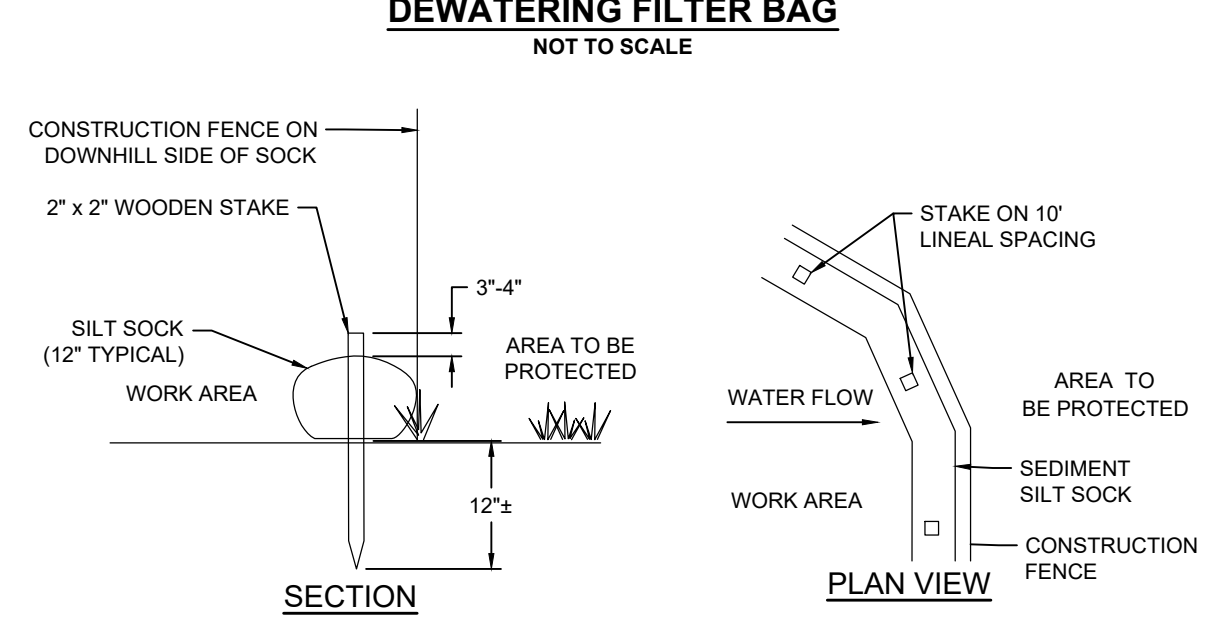
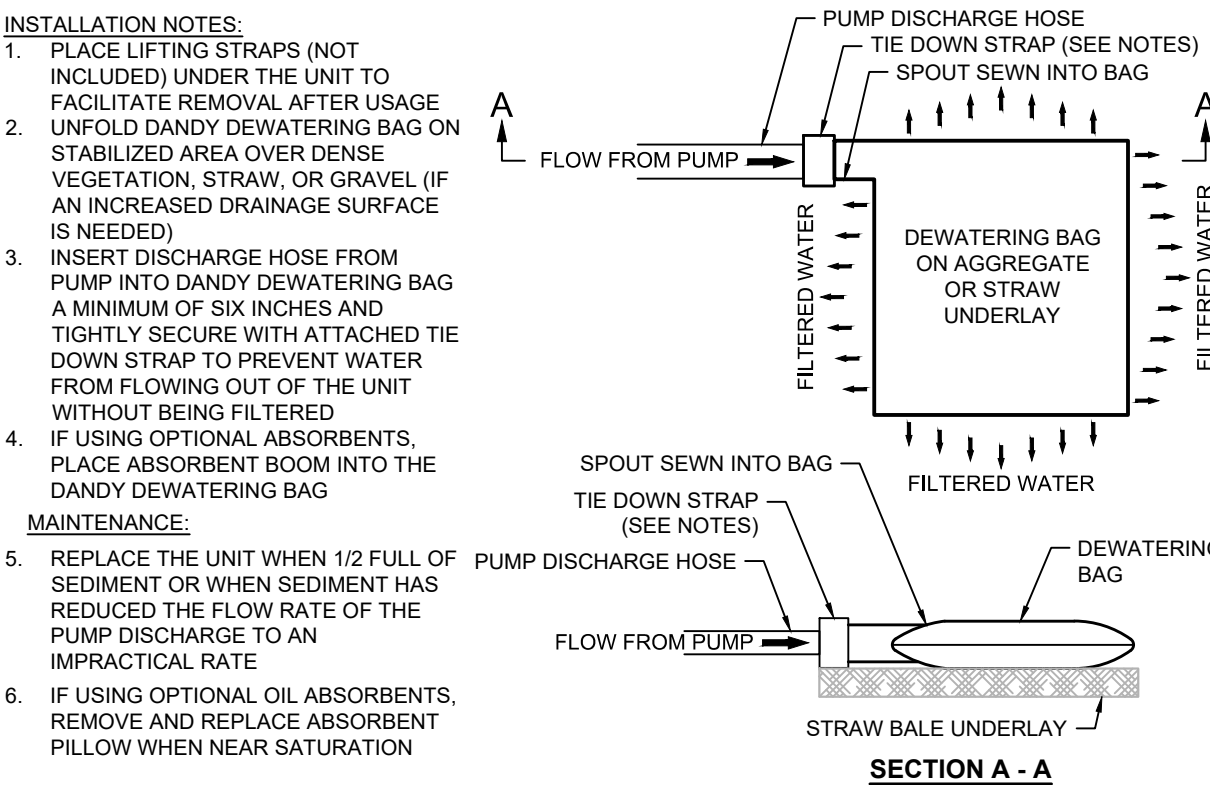
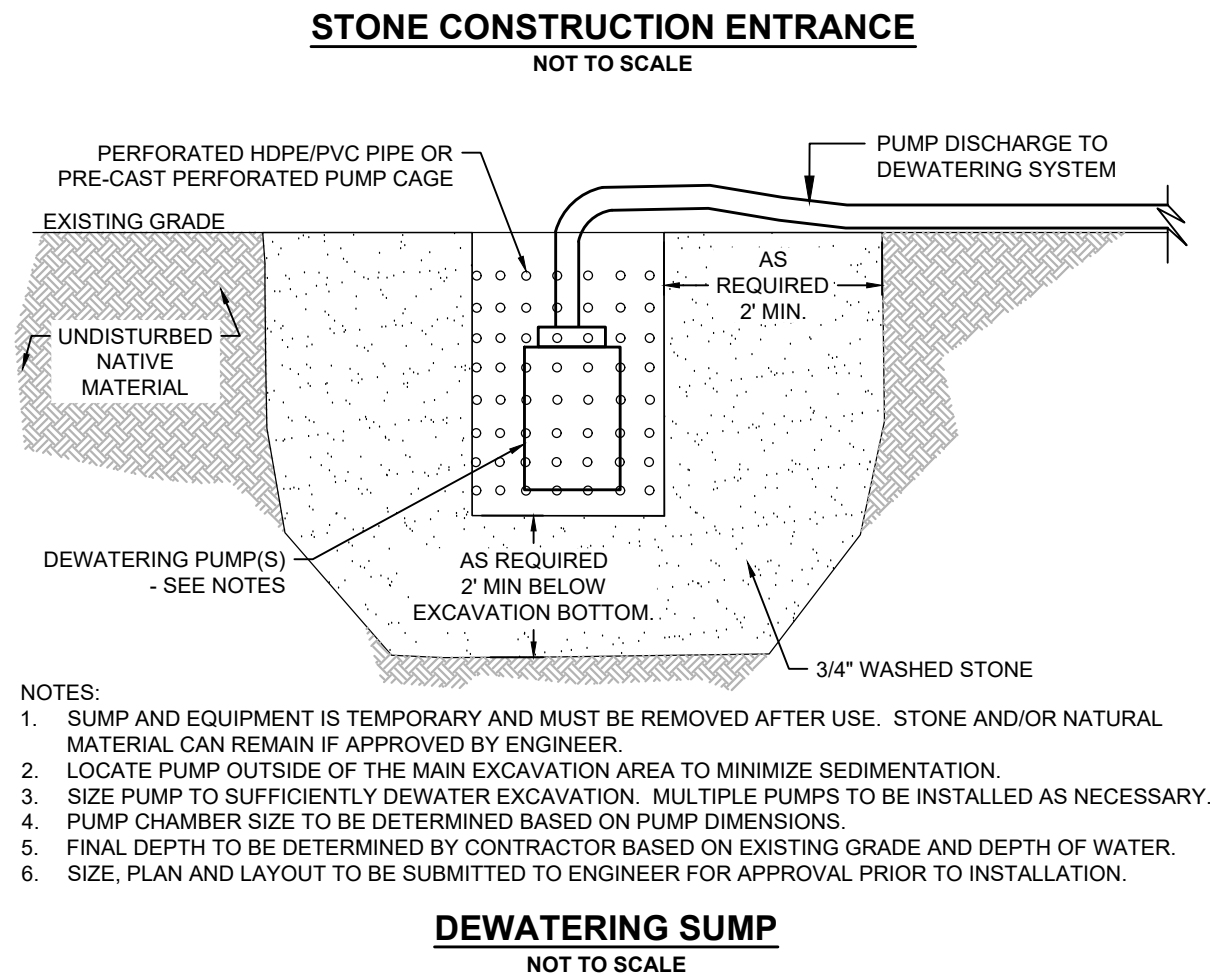
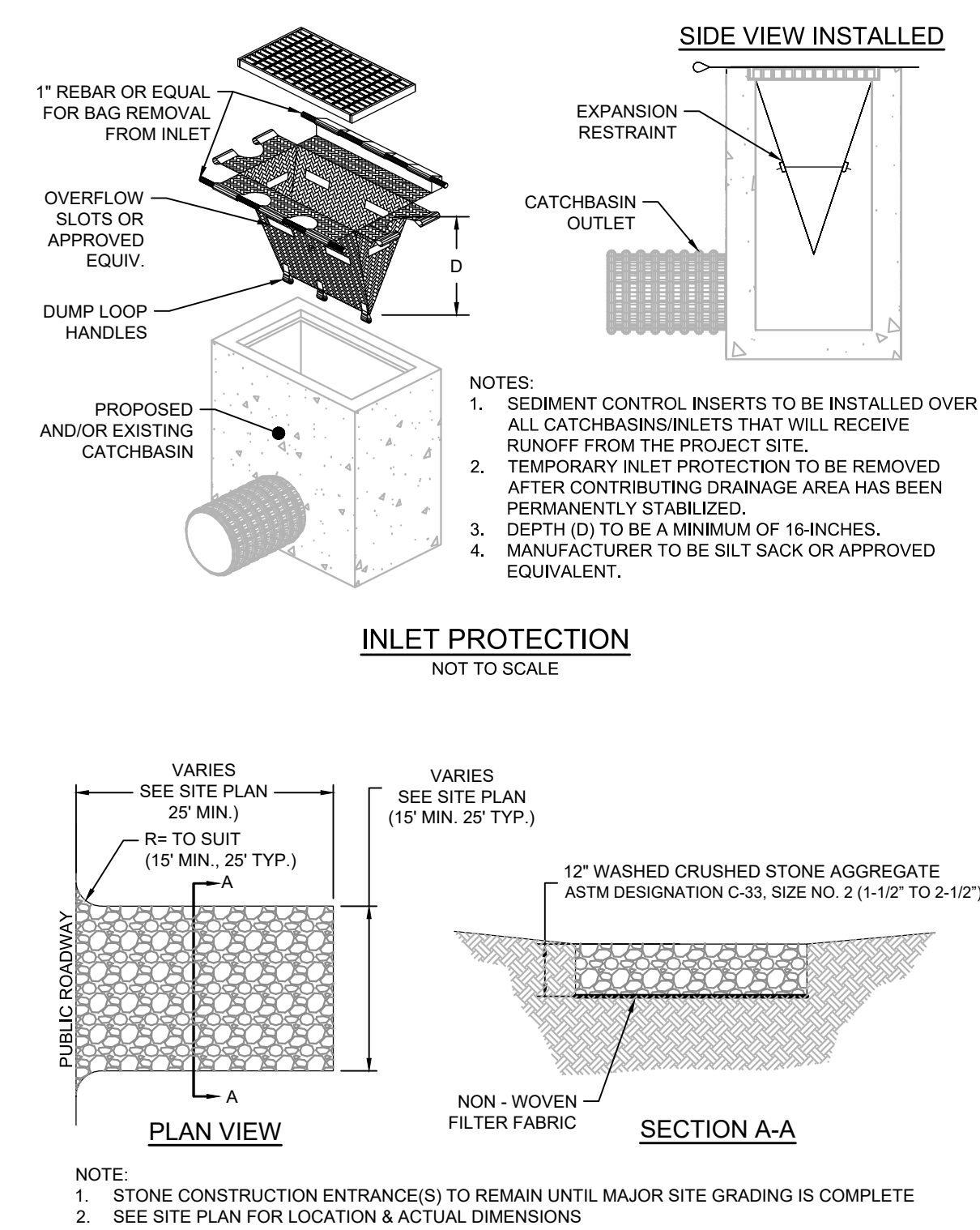
- 1. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 2. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 3. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 4. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 5. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. IMMEDIATELY NOTIFY THE ENGINEER IF POSITIVE DRAINAGE CANNOT BE PROVIDED.
- 6. PROPOSED ELEVATIONS ARE SHOWN TO FINISH PAVEMENT OR GRADE UNLESS NOTED OTHERWISE.

DEWATERING:

- 1. HIGH WATER TABLE IS ANTICIPATED. IF THE WATER TABLE IS ENCOUNTERED DURING EXCAVATION, TEMPORARILY LOWER THE WATER TABLE AS INDICATED IN THE SPECIFICATIONS.
- 2. PRIOR TO ANY DEWATERING, THE DEWATERING PLAN MUST BE APPROVED BY THE ENGINEER.
- 3. IF DEWATERING IS NECESSARY DURING CONSTRUCTION, IMPLEMENT THE PROPER ESC MEASURES ON SITE TO PREVENT EROSION OR SEDIMENT RUNOFF. THESE MEASURES CAN INCLUDE DEWATERING BAGS, TEMPORARY STRAWBALES, SILT FENCES, SILT SOCKS AND/OR OTHER APPROVED DEVICES AS INDICATED IN THE DETAILS.

DEWATERING NOTES:

- 1. SUPPLY THE DEWATERING SYSTEMS TO:
    - A. DEVELOP A SUBSTANTIALLY DRY AND STABLE SUBGRADE FOR THE PROPOSED WORK;
    - B. PREVENT DAMAGE TO ADJACENT PROPERTIES, BUILDINGS, STRUCTURES, UTILITIES AND RESOURCES AREAS;
    - C. RETAIN ALL SEDIMENTS ON-SITE WITHIN THE WORK AREA;
    - D. PREVENT SEDIMENT DISCHARGE AND DEGRADATION OF THE RESOURCE AREA;
    - E. PREVENT LOSS OF FINES, QUICK CONDITION, OR SOFTENING OF FOUNDATION SUBGRADE; AND
    - F. MAINTAIN STABILITY OF SIDES AND BOTTOMS OF EXCAVATIONS AND TRENCHES.
  - 2. LOCATE DEWATERING FACILITIES WHERE THEY WILL NOT INTERFERE WITH CONSTRUCTION WORK OR ABUTTING RESOURCES.
  - 3. MODIFY DEWATERING EQUIPMENT AND PROCEDURES WHEN OPERATIONS THREATEN TO CAUSE DAMAGE TO NEW OR EXISTING FACILITIES OR ADJACENT AREAS NOT WITHIN THE LIMIT OF WORK.
  - 4. PRIOR TO INSTALLATION OF THE DEWATERING SYSTEM, PROVIDE THE ENGINEER WITH A SCHEDULE OF DEWATERING PROCEDURES. DEWATERING SCHEDULE AND PROCEDURES ARE SUBJECT TO THE LOCAL AUTHORITY AND ENGINEER'S REVIEW AND APPROVAL AND SHALL INCLUDE AT A MINIMUM THE FOLLOWING INFORMATION:
    - A. THE PROPOSED TYPES OF DEWATERING SYSTEMS;
    - B. ARRANGEMENT, LOCATION AND DEPTHS OF SYSTEM COMPONENTS;
    - C. COMPLETE DESCRIPTION OF EQUIPMENT AND INSTRUMENTATION TO BE USED INCLUDING INSTALLATION, OPERATION AND MAINTENANCE PROCEDURES (SEE NOTES);
    - D. TYPES AND SIZES OF FILTERS (IF APPLICABLE);
    - E. DESIGN CALCULATIONS DEMONSTRATING ADEQUACY OF THE PROPOSED SYSTEM AND EQUIPMENT; AND
    - F. PROVISIONS AND METHODS OF SEDIMENT REMOVAL AND DISPOSAL OF WATER.
    - G. ALL PERMITS REQUIRED FOR THE WORK, IF NECESSARY.
  - 5. FURNISH ALL MATERIAL/PRODUCTS REQUIRED TO ADEQUATELY PROVIDE DEWATERING WITHOUT DAMAGE TO SURROUNDING PROPERTIES, EXISTING UTILITIES, AND/OR RESOURCE AREA. SUBMIT ALL PRODUCTS AND MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL.
  - 6. INTERCEPT AND DIVERT SURFACE WATER RUNOFF AWAY FROM EXCAVATIONS THROUGH THE USE OF DIKES, CURB WALLS, DITCHES, PIPES, SUMPS OR OTHER APPROVED MEANS.
  - 7. IF PUMPS ARE USED, THE PUMP INTAKE LINE SHOULD NOT BE ALLOWED TO SETTLE TO THE BOTTOM OF THE EXCAVATION OR DEWATERING SUMP.
  - 8. PROVIDE AND MAINTAIN HOLDING AREAS/TEMPORARY SETTLING BASINS OF ADEQUATE SIZE TO COLLECT AND PREVENT SURFACE AND SUBSURFACE WATER SEEPAGE FROM ENTERING THE EXCAVATIONS. DIVERT THE WATER TO SETTLING BASINS OR OTHER APPROVED EQUIPMENT REQUIRED TO REDUCE THE AMOUNT OF FINE PARTICLES BEFORE DISCHARGE INTO DRAINAGE PIPES AND NATURAL WATER COURSES. IF A DRAINAGE SYSTEM OR WATER COURSE BECOMES BLOCKED DUE TO DEWATERING OPERATION, IT MUST BE CLEARED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ANY ENFORCEMENT ACTIONS OR FINES RESULTING FROM IMPROPER DEWATERING AND/OR DISCHARGE OF TURBID WATER AND SEDIMENT TO PROTECTED AREAS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ACCOMPLISH DEWATERING IN ACCORDANCE WITH THE MEANS AND METHODS SUBMITTED AND APPROVED BY THE ENGINEER. KEEP THE ENGINEER ADVISED OF ANY CHANGES REQUIRED TO ACCOMMODATE FIELD CONDITIONS AND, ON COMPLETION OF THE DEWATERING SYSTEM INSTALLATION, REVISE AND RESUBMIT THE INFORMATION REQUIRED TO SHOW THE INSTALLED SYSTEM.
- A. PERFORM DEWATERING OPERATIONS TO LOWER THE GROUNDWATER LEVEL IN EXCAVATIONS AS REQUIRED TO PROVIDE A STABLE, DRY SUBGRADE FOR THE PROSECUTION OF THE PROPOSED WORK.
  - B. MAINTAIN DEWATERING OPERATIONS IN A MANNER THAT PREVENTS BUILDUP OF EXCESSIVE HYDROSTATIC PRESSURE AND DAMAGE TO STRUCTURES, AND THE SUBGRADE.
  - C. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES TO REMOVE PROMPTLY, AND TO DISPOSE OF PROPERLY, ALL WATER ENTERING EXCAVATIONS AND TO KEEP THEM DRY UNTIL THE PROPOSED WORK IS COMPLETED.
  - D. DO NOT DISCHARGE WATER TO PROTECTED ENVIRONMENTAL RESOURCES WITHOUT TREATMENT TO REMOVE SUSPENDED SOLIDS AND SEDIMENTS.
  - E. DO NOT LAY PIPE AND/OR MASONRY IN WATER. DO NOT ALLOW WATER TO INUNDATE NEW CONCRETE AND NEW BRICK MASONRY WITHIN 48 HOURS AFTER INSTALLATION. PLACE BACKFILL PROMPTLY OR IMPLEMENT OTHER APPROVED METHODS TO PREVENT THE POSSIBILITY OF FLOTATION OF PIPE OR STRUCTURES AFTER INSTALLATION.



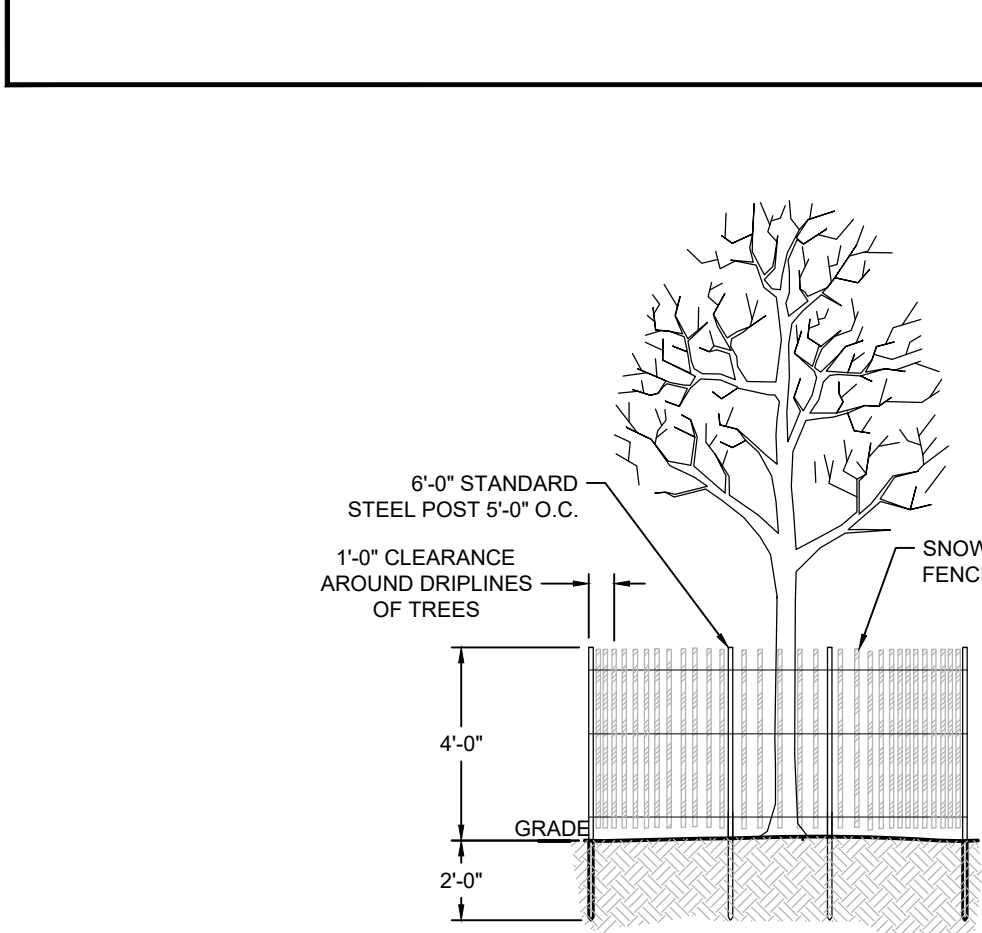
- NOTES:
- 1. SILT SOCK MANUFACTURER SHALL BE SILT SOCKX OR ENGINEER APPROVED EQUAL.
  - 2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
  - 3. SEDIMENT SILT SOCK TO BE FILLED WITH COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
  - 4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION COMPOST MATERIAL SHALL BE REMOVED.

SILT SOCK

NOT TO SCALE

LEGEND:

GENERAL		SYMBOLS	
EXISTING	PROPOSED		
50	50	BENCHMARK	
44	44	EXISTING TREE	
		EXISTING SPOT GRADE	
		SPOT GRADE	
		SEWER MANHOLE	
		DRAIN MANHOLE	
		CATCHBASIN	
		OVERFLOW INLET	
		STONE	
		FLARED END OUTLET	
		STONE APRON	
		INLET PROTECTION	
		CLEAN OUT	
		PIPE STUB	
		ABUTTING LOT	
		EASEMENT LINE	
		PROPERTY, LOT, OR ROW	
		UTILITY BOX	
		HYDRANT	
		UTILITY POLE W/GUY	
		UTILITY POLE	
		GUY	
		LIGHT POST	
		BORING	
		WETLAND FLAG	
		SIGN	
		BENCH	
		HANDICAP SYMBOL	
		NUMBER OF PARKING SPACES	
		SILT SOCK	
		STAGING AND STOCKPILE AREA	
		BLSF BOUNDARY	
		BVV BOUNDARY	
		WETLAND 100 BUFFER	



TREE PROTECTION

NOT TO SCALE

DESIGN DEVELOPMENT ONLY  
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Revisions

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Horsley Witten Group, Inc.  
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508-833-6600 voice  
508-833-3150 fax

Checked By: EEB/UMP  
Drawn By: EEB/UMP  
Designed By: EEB/UMP  
Date: FEBRUARY 2024

LILY POND PARK IMPROVEMENTS  
50% DESIGN DEVELOPMENT  
NANTUCKET, MASSACHUSETTS

Plan Set:  
The Nantucket Land Bank  
22 Broad Street  
Nantucket, MA  
Phone: (508) 228-7240  
Fax: ---

Survey Provided By:  
Nantucket Surveyors LLC  
5 Wintry Way  
Nantucket, MA  
Phone: (508) 228-0240  
Fax: ---  
Date: 6/30/2022

Registration:

Project Number: 2008

Sheet: 2 of 16

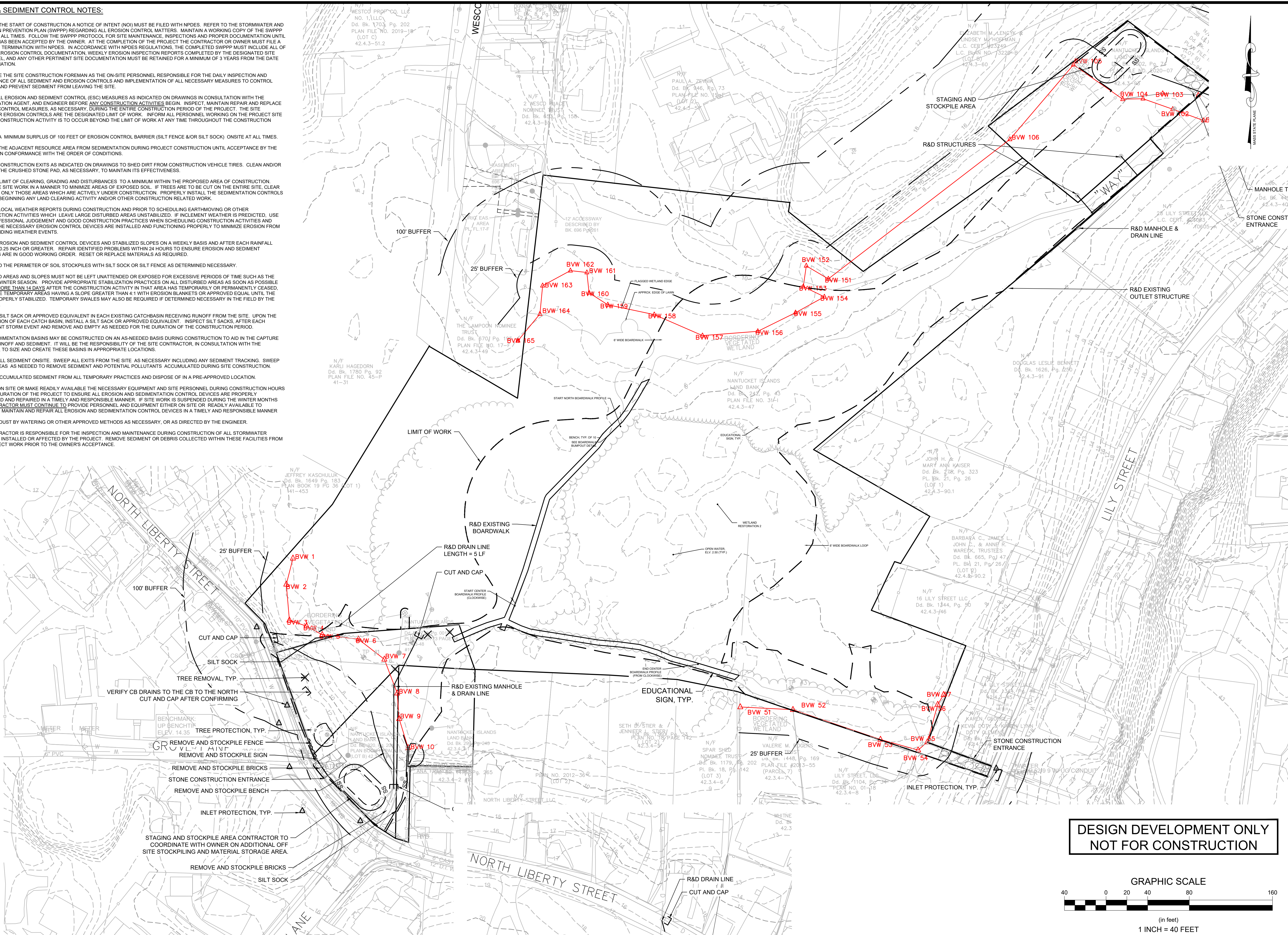
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EROSION & SEDIMENT CONTROL NOTES:

1. PRIOR TO THE START OF CONSTRUCTION A NOTICE OF INTENT (NOI) MUST BE FILED WITH NPDES. REFER TO THE STORMWATER AND POLLUTION PREVENTION PLAN (SWPPP) REGARDING ALL EROSION CONTROL MATTERS. MAINTAIN A WORKING COPY OF THE SWPPP ON-SITE AT ALL TIMES. FOLLOW THE SWPPP PROTOCOL FOR SITE MAINTENANCE, INSPECTIONS AND PROPER DOCUMENTATION UNTIL THE SITE HAS BEEN ACCEPTED BY THE OWNER. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR OR OWNER MUST FILE A NOTICE OF TERMINATION WITH NPDES. IN ACCORDANCE WITH NPDES REGULATIONS, THE COMPLETED SWPPP MUST INCLUDE ALL OF THE SITE EROSION CONTROL DOCUMENTATION, WEEKLY EROSION INSPECTION REPORTS COMPLETED BY THE DESIGNATED SITE PERSONNEL, AND ANY OTHER PERTINENT SITE DOCUMENTATION MUST BE RETAINED FOR A MINIMUM OF 3 YEARS FROM THE DATE OF TERMINATION.
2. DESIGNATE THE SITE CONSTRUCTION FOREMAN AS THE ON-SITE PERSONNEL RESPONSIBLE FOR THE DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS AND IMPLEMENTATION OF ALL NECESSARY MEASURES TO CONTROL EROSION AND PREVENT SEDIMENT FROM LEAVING THE SITE.
3. INSTALL ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES AS INDICATED ON DRAWINGS IN CONSULTATION WITH THE CONSERVATION AGENT, AND ENGINEER BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN. INSPECT, MAINTAIN REPAIR AND REPLACE EROSION CONTROL MEASURES, AS NECESSARY, DURING THE ENTIRE CONSTRUCTION PERIOD OF THE PROJECT. THE SITE PERIMETER EROSION CONTROLS ARE THE DESIGNATED LIMIT OF WORK. INFORM ALL PERSONNEL WORKING ON THE PROJECT SITE THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
4. MAINTAIN A MINIMUM SURPLUS OF 100 FEET OF EROSION CONTROL BARRIER (SILT FENCE &/OR SILT SOCK) ON-SITE AT ALL TIMES.
5. PROTECT THE ADJACENT RESOURCE AREA FROM SEDIMENTATION DURING PROJECT CONSTRUCTION UNTIL ACCEPTANCE BY THE OWNER & IN CONFORMANCE WITH THE ORDER OF CONDITIONS.
6. PROVIDE CONSTRUCTION EXITS AS INDICATED ON DRAWINGS TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES. CLEAN AND/OR REPLACE THE CRUSHED STONE PAD, AS NECESSARY, TO MAINTAIN ITS EFFECTIVENESS.
7. KEEP THE LIMIT OF CLEARING, GRADING AND DISTURBANCES TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. PHASE THE SITE WORK IN A MANNER TO MINIMIZE AREAS OF EXPOSED SOIL. IF TREES ARE TO BE CUT ON THE ENTIRE SITE, CLEAR AND GRUB ONLY THOSE AREAS WHICH ARE ACTIVELY UNDER CONSTRUCTION. PROPERLY INSTALL THE SEDIMENTATION CONTROLS PRIOR TO BEGINNING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK.
8. MONITOR LOCAL WEATHER REPORTS DURING CONSTRUCTION AND PRIOR TO SCHEDULING EARTHMOVING OR OTHER CONSTRUCTION ACTIVITIES WHICH LEAVE LARGE DISTURBED AREAS UNSTABILIZED. IF INCLEMENT WEATHER IS PREDICTED, USE BEST PROFESSIONAL JUDGEMENT AND GOOD CONSTRUCTION PRACTICES WHEN SCHEDULING CONSTRUCTION ACTIVITIES AND ENSURE THE NECESSARY EROSION CONTROL DEVICES ARE INSTALLED AND FUNCTIONING PROPERLY TO MINIMIZE EROSION FROM ANY IMPENDING WEATHER EVENTS.
9. INSPECT EROSION AND SEDIMENT CONTROL DEVICES AND STABILIZED SLOPES ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT OF 0.25 INCH OR GREATER. REPAIR IDENTIFIED PROBLEMS WITHIN 24 HOURS TO ENSURE EROSION AND SEDIMENT CONTROLS ARE IN GOOD WORKING ORDER. RESET OR REPLACE MATERIALS AS REQUIRED.
10. SURROUND THE PERIMETER OF SOIL STOCKPILES WITH SILT SOCK OR SILT FENCE AS DETERMINED NECESSARY.
11. DISTURBED AREAS AND SLOPES MUST NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. PROVIDE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. REINFORCE TEMPORARY AREAS HAVING A SLOPE GREATER THAN 4:1 WITH EROSION BLANKETS OR APPROVED EQUAL UNTIL THE SITE IS PROPERLY STABILIZED. TEMPORARY SWALES MAY ALSO BE REQUIRED IF DETERMINED NECESSARY IN THE FIELD BY THE ENGINEER.
12. INSTALL A SILT SACK OR APPROVED EQUIVALENT IN EACH EXISTING CATCHBASIN RECEIVING RUNOFF FROM THE SITE. UPON THE INSTALLATION OF EACH CATCH BASIN, INSTALL A SILT SACK OR APPROVED EQUIVALENT. INSPECT SILT SACKS, AFTER EACH SIGNIFICANT STORM EVENT AND REMOVE AND EMPTY AS NEEDED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
13. SMALL SEDIMENTATION BASINS MAY BE CONSTRUCTED ON AN AS-NEEDED BASIS DURING CONSTRUCTION TO AID IN THE CAPTURE OF SITE RUNOFF AND SEDIMENT. IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR, IN CONSULTATION WITH THE ENGINEER, TO SIZE AND CREATE THESE BASINS IN APPROPRIATE LOCATIONS.
14. CONTAIN ALL SEDIMENT ON-SITE. SWEEP ALL EXITS FROM THE SITE AS NECESSARY INCLUDING ANY SEDIMENT TRACKING. SWEEP PAVED AREAS AS NEEDED TO REMOVE SEDIMENT AND POTENTIAL POLLUTANTS ACCUMULATED DURING SITE CONSTRUCTION.
15. REMOVE ACCUMULATED SEDIMENT FROM ALL TEMPORARY PRACTICES AND DISPOSE OF IN A PRE-APPROVED LOCATION.
16. PROVIDE ON SITE OR MAKE READILY AVAILABLE THE NECESSARY EQUIPMENT AND SITE PERSONNEL DURING CONSTRUCTION HOURS FOR THE DURATION OF THE PROJECT TO ENSURE ALL EROSION AND SEDIMENTATION CONTROL DEVICES ARE PROPERLY MAINTAINED AND REPAIRED IN A TIMELY AND RESPONSIBLE MANNER. IF SITE WORK IS SUSPENDED DURING THE WINTER MONTHS THE CONTRACTOR MUST CONTINUE TO PROVIDE PERSONNEL AND EQUIPMENT EITHER ON SITE OR READILY AVAILABLE TO PROPERLY MAINTAIN AND REPAIR ALL EROSION AND SEDIMENTATION CONTROL DEVICES IN A TIMELY AND RESPONSIBLE MANNER.
17. CONTROL DUST BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE ENGINEER.
18. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE DURING CONSTRUCTION OF ALL STORMWATER FACILITIES INSTALLED OR AFFECTED BY THE PROJECT. REMOVE SEDIMENT OR DEBRIS COLLECTED WITHIN THESE FACILITIES FROM THE PROJECT WORK PRIOR TO THE OWNER'S ACCEPTANCE.



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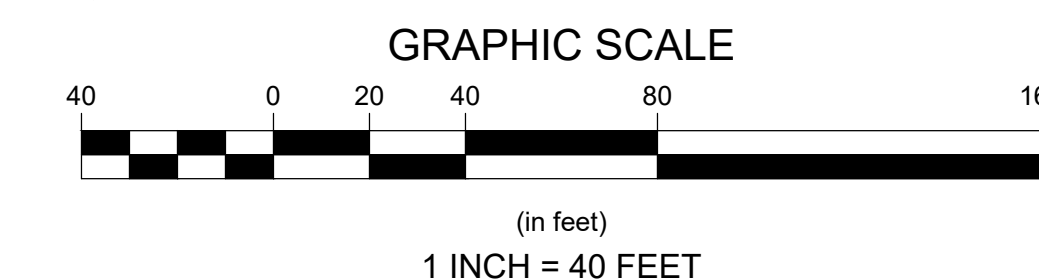
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155		02/05/24		EB		EB		EESC	
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159		02/05/24		EB		EB		EESC	
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162		02/05/24		EB		EB		EESC	
163		02/05/24		EB		EB		EESC	
164		02/05/24</							



RESOURCE AREA DISTURBANCE SUMMARY				
	Total LOW Area (SF)	Flagged wetland area (SF)		Buffer Disturbance
		Vegetated Wetland	Turf	Buffer
		Permanent Impacts from Boardwalk Piles)		
Wetland Restoration 1	108,310	82,365 (1,130)	19,925 (240)	6,020
Wetland Restoration 2	23,310	930 (30)	6,590 (170)	15,790
Wetland Restoration 3	10,980	3,850 (150)	6,080 (90)	1,050
Total (SF) :	142,600	87,145 (1,310)	32,595 (500)	22,860



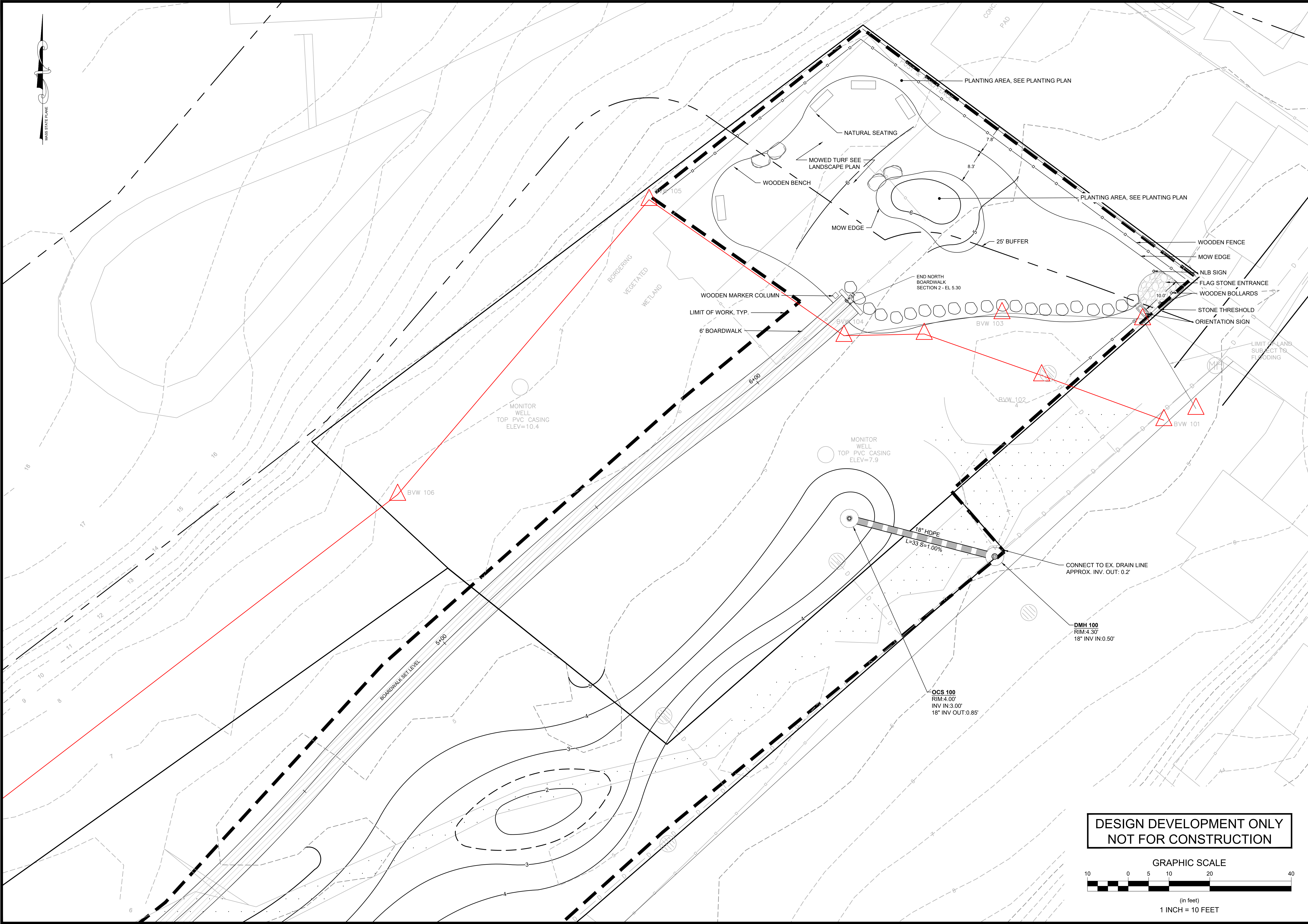
DESIGN DEVELOPMENT ONLY  
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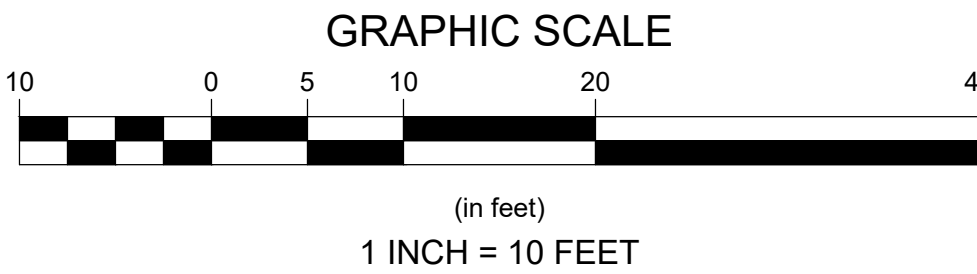
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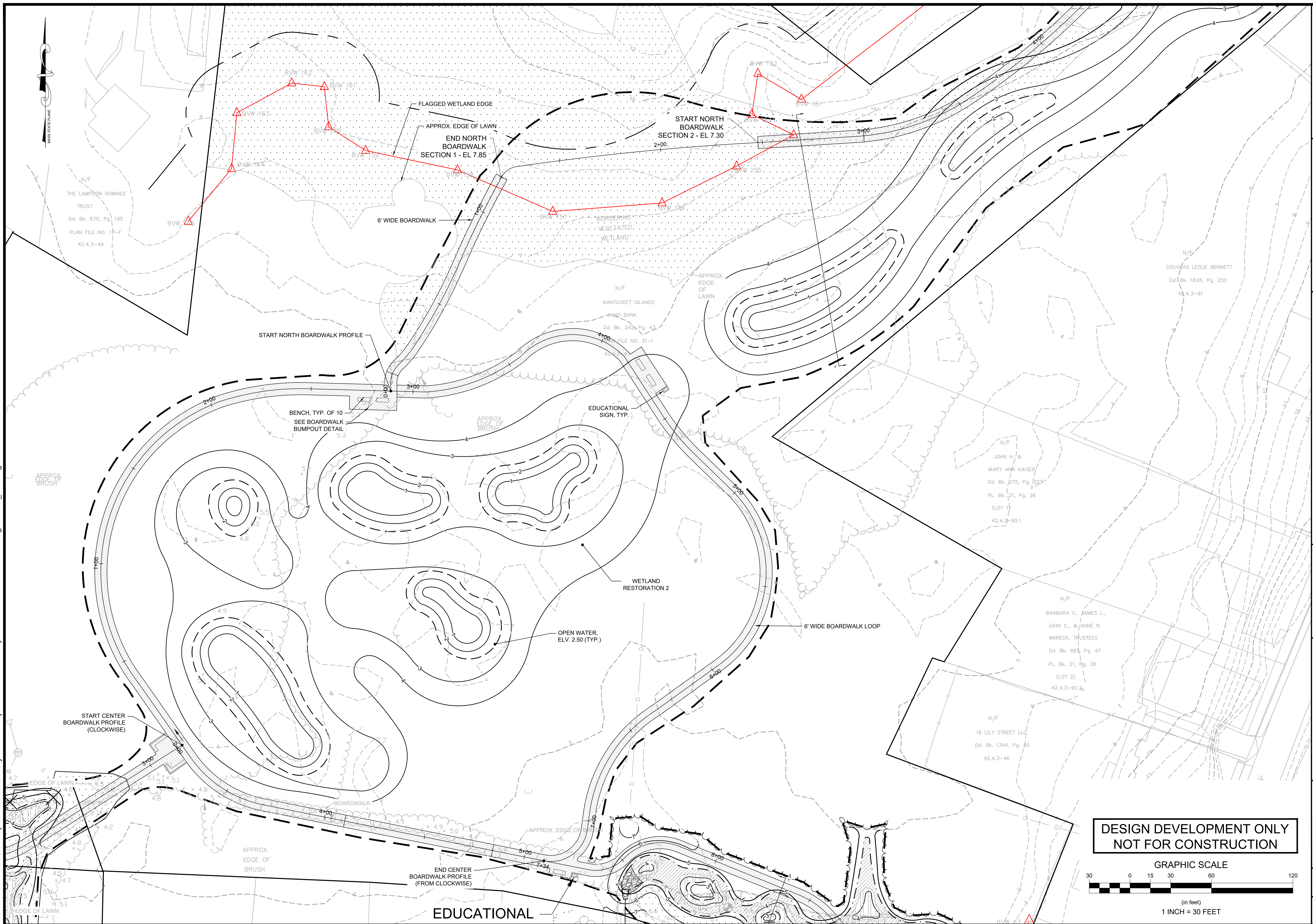


<b>Revisions</b> <table border="1"> <tr> <th>Rev</th> <th>Date</th> <th>By</th> <th>Appr</th> <th>Description</th> </tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </table>		Rev	Date	By	Appr	Description																																														<b>Horsley Witten Group, Inc.</b> Sustainable Environmental Solutions www.horsleywitten.com 80 Route 6A Sandwich, MA 02563 508-833-6600 voice 508-833-3150 fax		Date: FEBRUARY 2024 Designed By: EEB/JMP Drawn By: EEB/JMP Checked By: BRK
Rev	Date	By	Appr	Description																																																		
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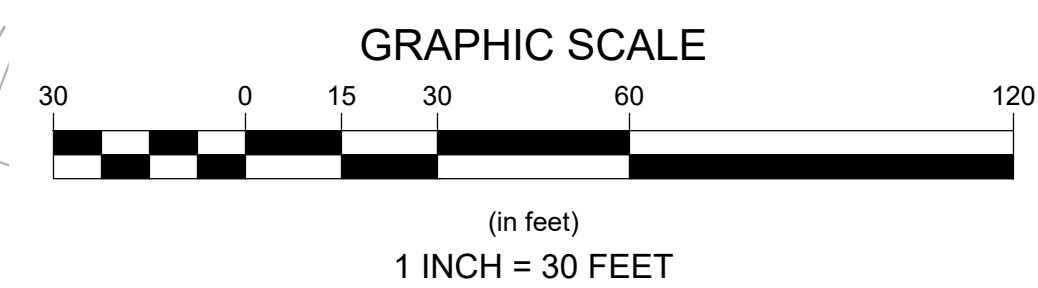
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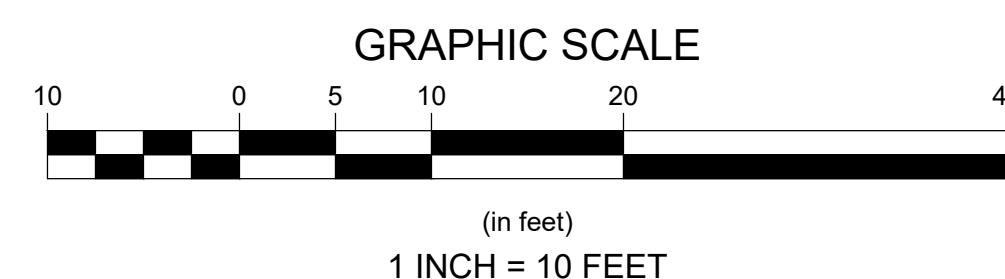
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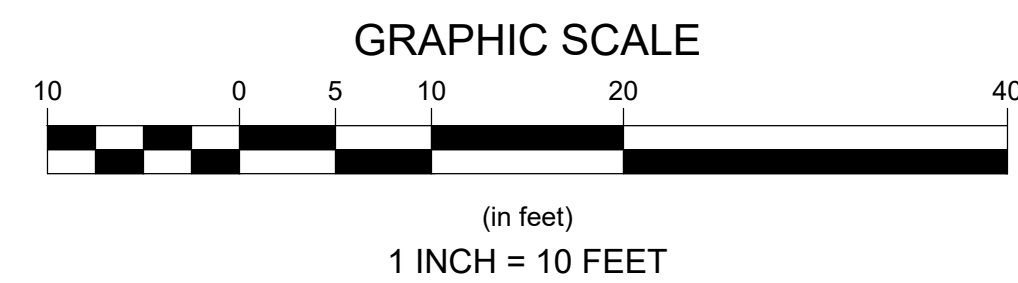
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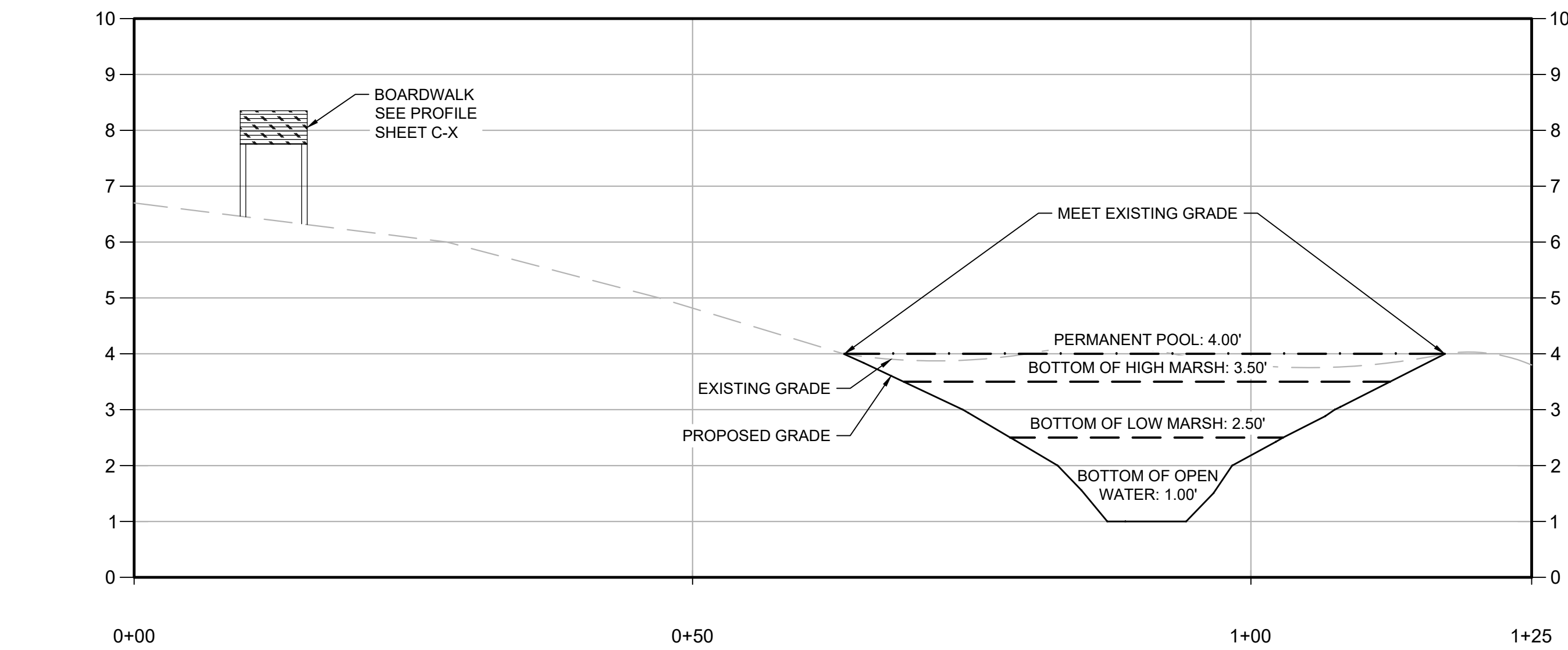


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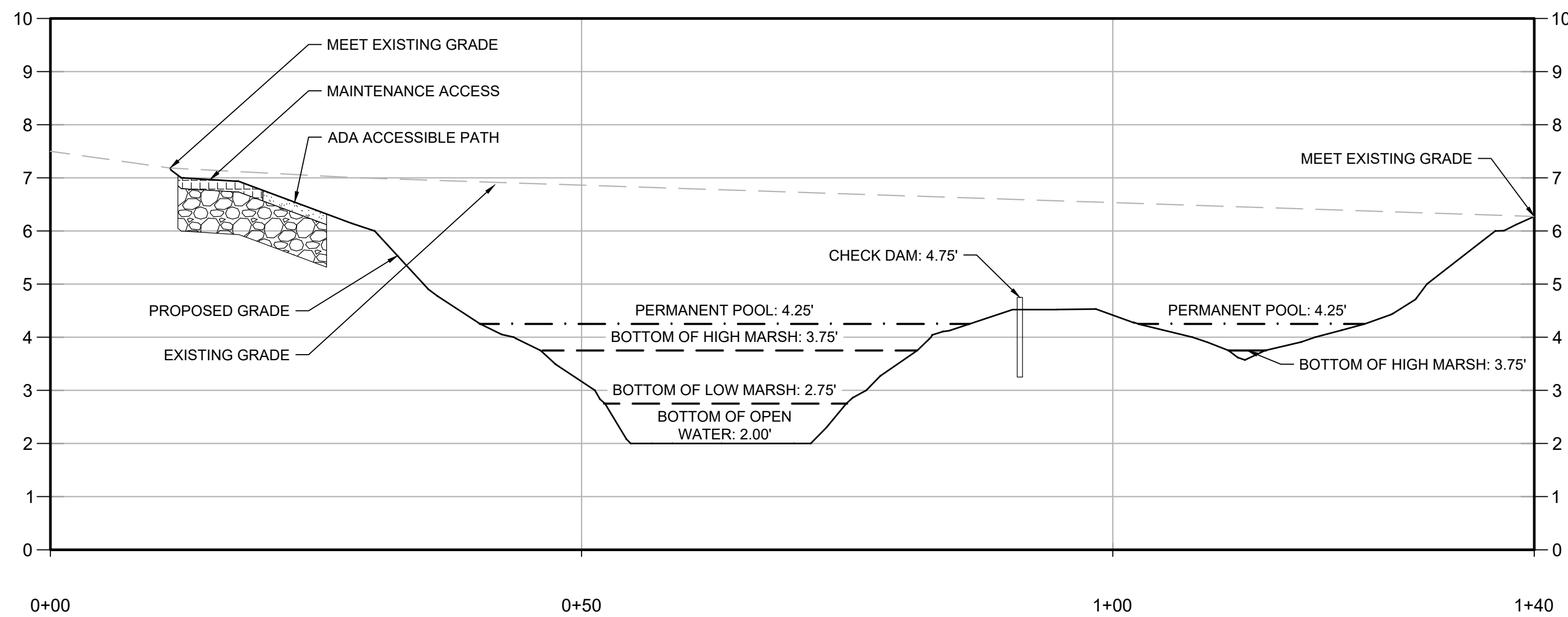
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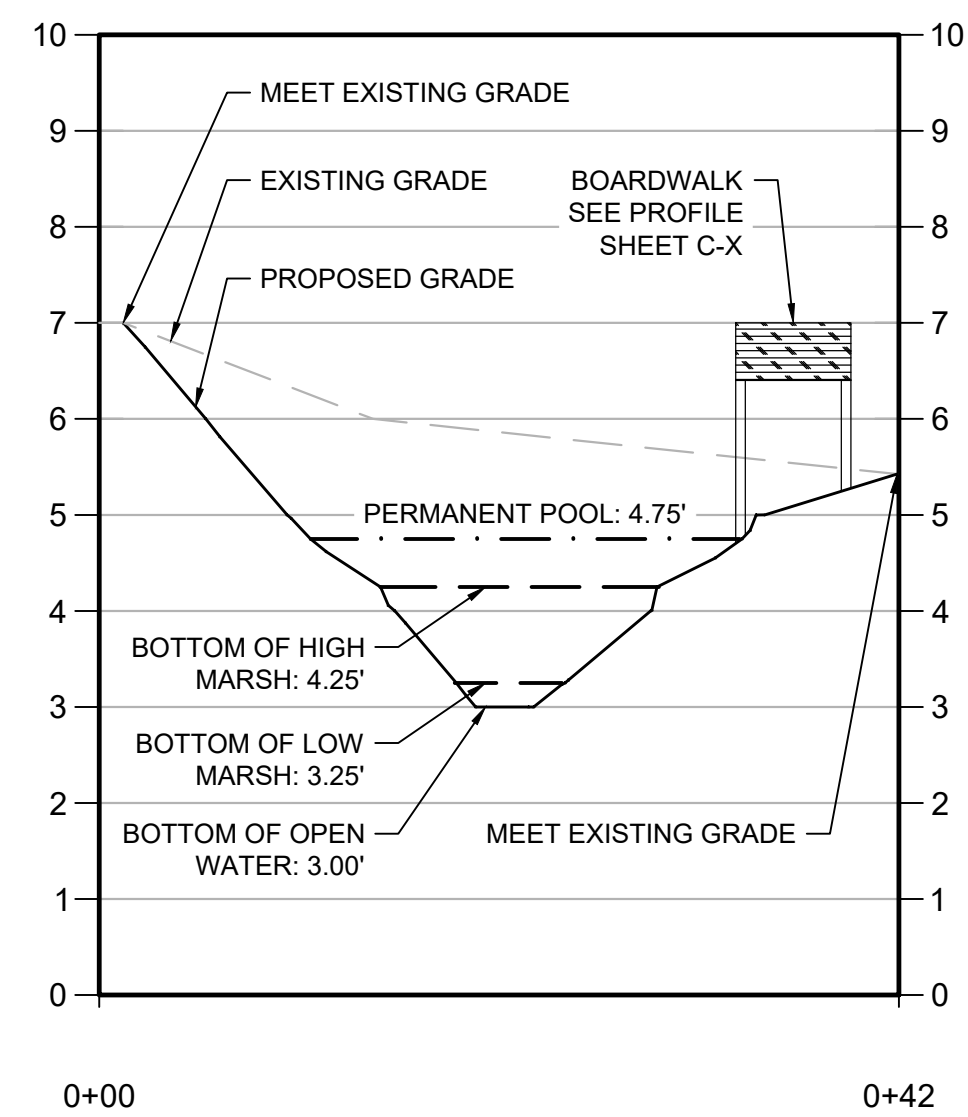
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**WETLAND RESTORATION AREA 2 SECTION**  
HORIZONTAL SCALE: 1" = 10'  
VERTICAL SCALE: 1" = 2'



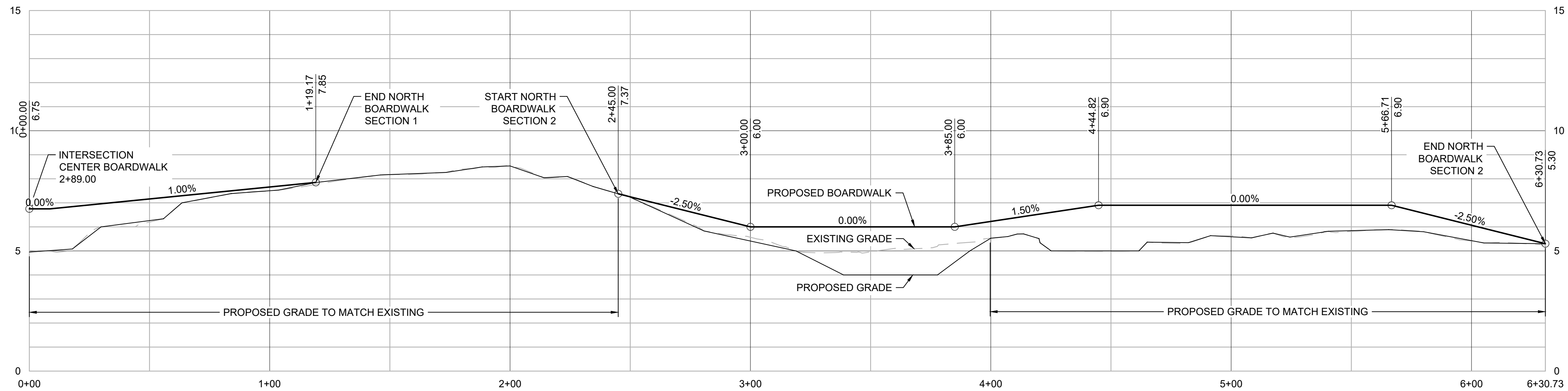
**WETLAND RESTORATION AREA 3 SECTION**  
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VERTICAL SCALE: 1" = 2'



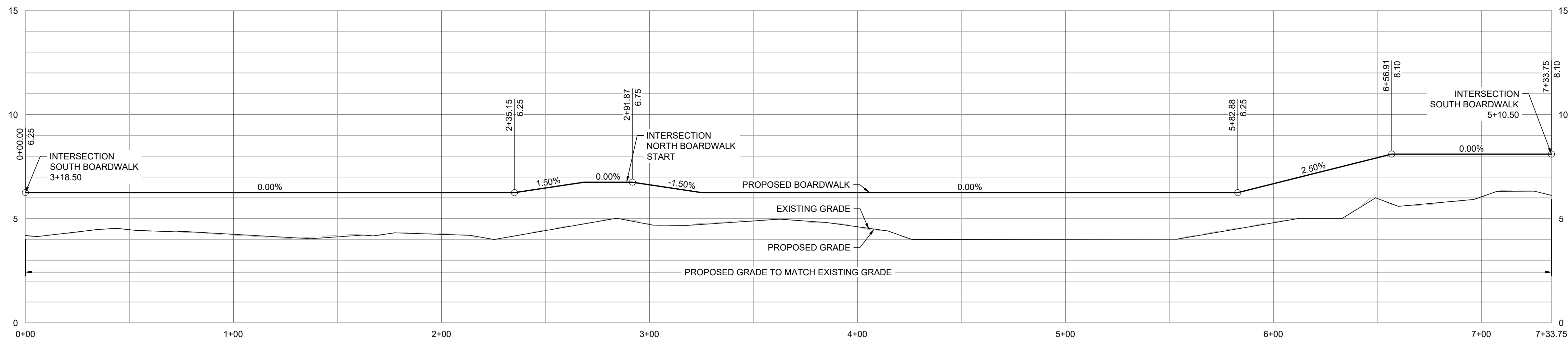
**WETLAND RESTORATION AREA 4 SECTION**  
HORIZONTAL SCALE: 1" = 10'  
VERTICAL SCALE: 1" = 2'

DESIGN DEVELOPMENT ONLY  
NOT FOR CONSTRUCTION

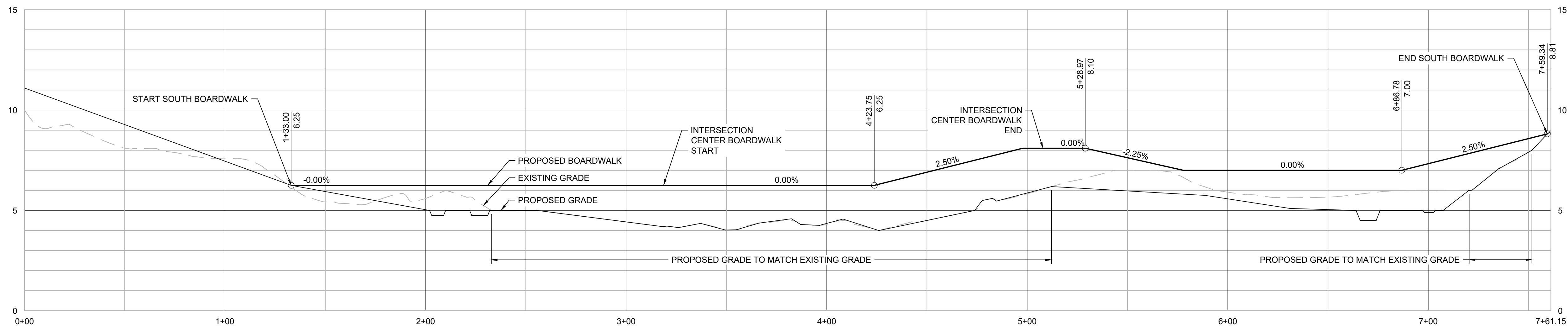
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<div>Project Number: 20008</div>	<div>Sheet : 10 of 16</div>																																																								
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CENTERLINE PROFILE - NORTH BOARDWALK  
HORIZONTAL SCALE 1" = 30'  
VERTICAL SCALE 1" = 3'



CENTERLINE PROFILE - CENTER BOARDWALK  
HORIZONTAL SCALE 1" = 30'  
VERTICAL SCALE 1" = 3'



CENTERLINE PROFILE - SOUTH BOARDWALK  
HORIZONTAL SCALE 1" = 30'  
VERTICAL SCALE 1" = 3'

- NOTES:
- BOARDWALK SHALL BE NO MORE THAN 30" ABOVE FINISHED GRADE.
  - SLOPED SECTIONS OF BOARDWALK SHALL HAVE A MAXIMUM GRADE OF 2.50%.

Revisions

Rev	Date	By	Appr	Description
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9				
10				

**Horsley Witten Group, Inc.**  
Sustainable Environmental Solutions  
www.horsleywitten.com  
40 Route 6A  
Sandwich, MA 02563  
508-833-6600 phone  
508-833-3150 fax

Task: FEBRUARY 2024  
Designed By: EEB/JMP  
Drawn By: EEB/JMP  
Checked By: BRK

Plan Set:  
**LILY POND PARK IMPROVEMENTS**  
**50% DESIGN DEVELOPMENT**  
**NANTUCKET, MASSACHUSETTS**

Plan Title:  
**BOARDWALK PROFILES**

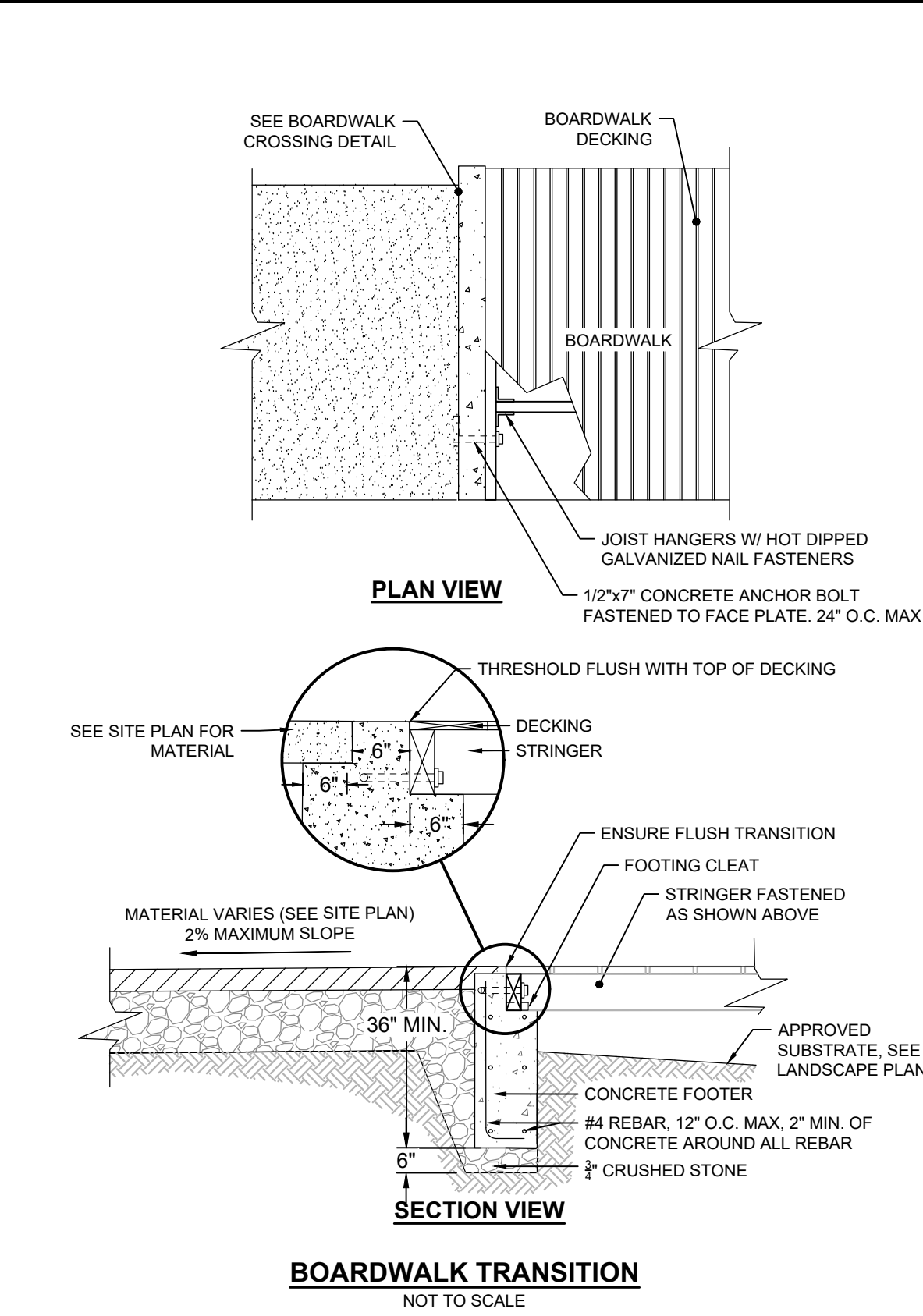
Prepared For:  
**The Nantucket Land Bank**  
22 Broad Street  
Nantucket, MA  
Phone: (508) 228-7240  
Fax: ---

Survey Provided By:  
**Nantucket Surveyors LLC**  
5 Windy Way  
Nantucket, MA  
Phone: (508) 228-0240  
Fax: ---  
Dated: 6/30/2022

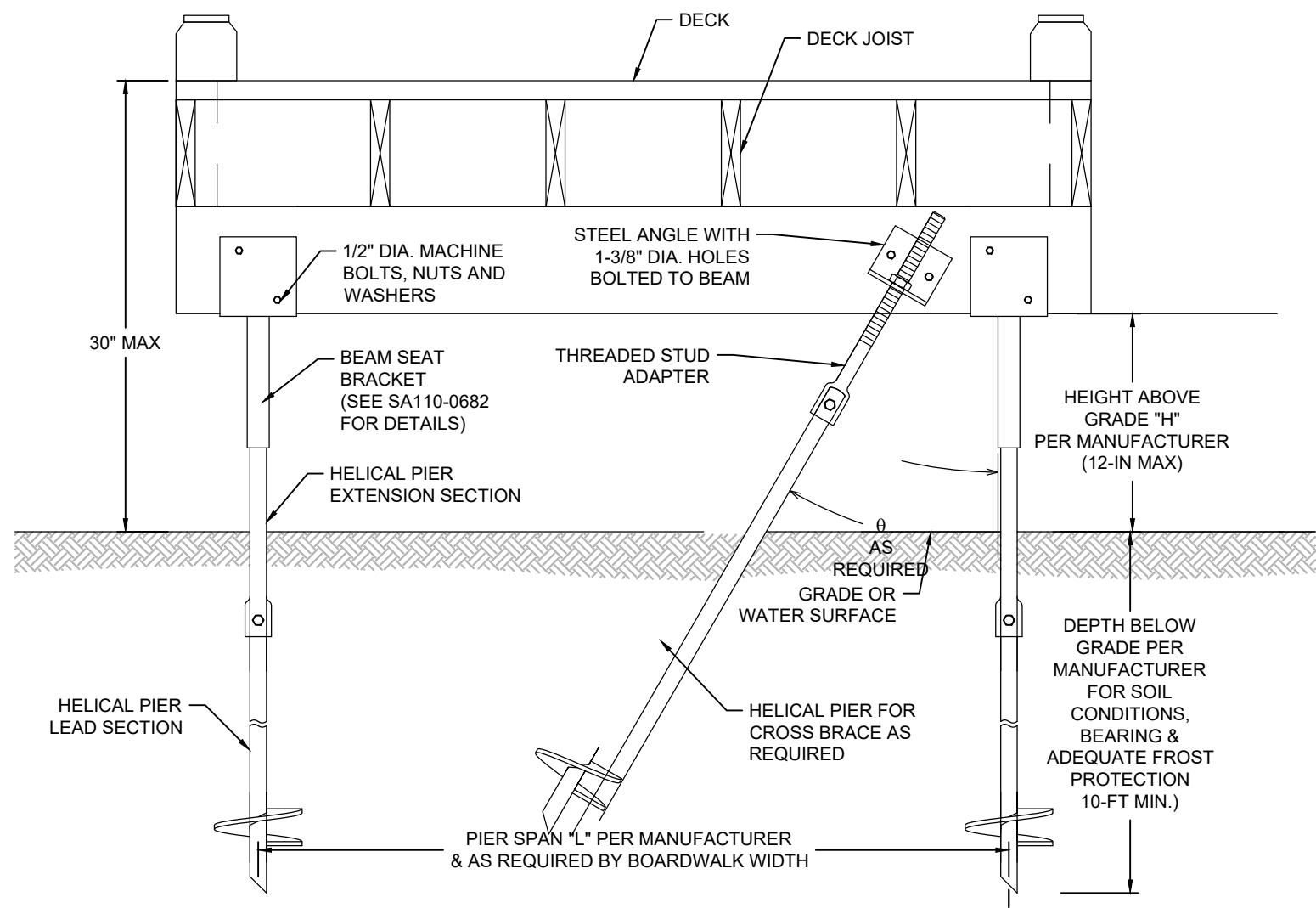
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**NOT FOR**  
**CONSTRUCTION**

Project Number: 20008  
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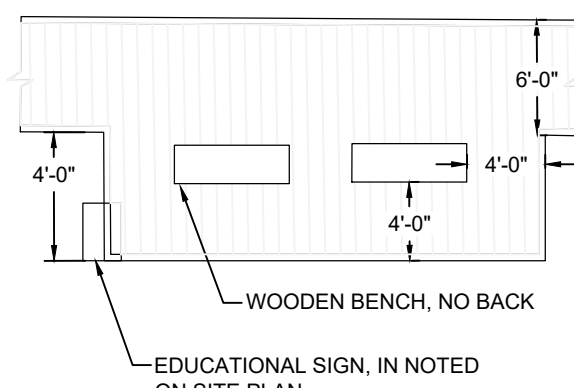




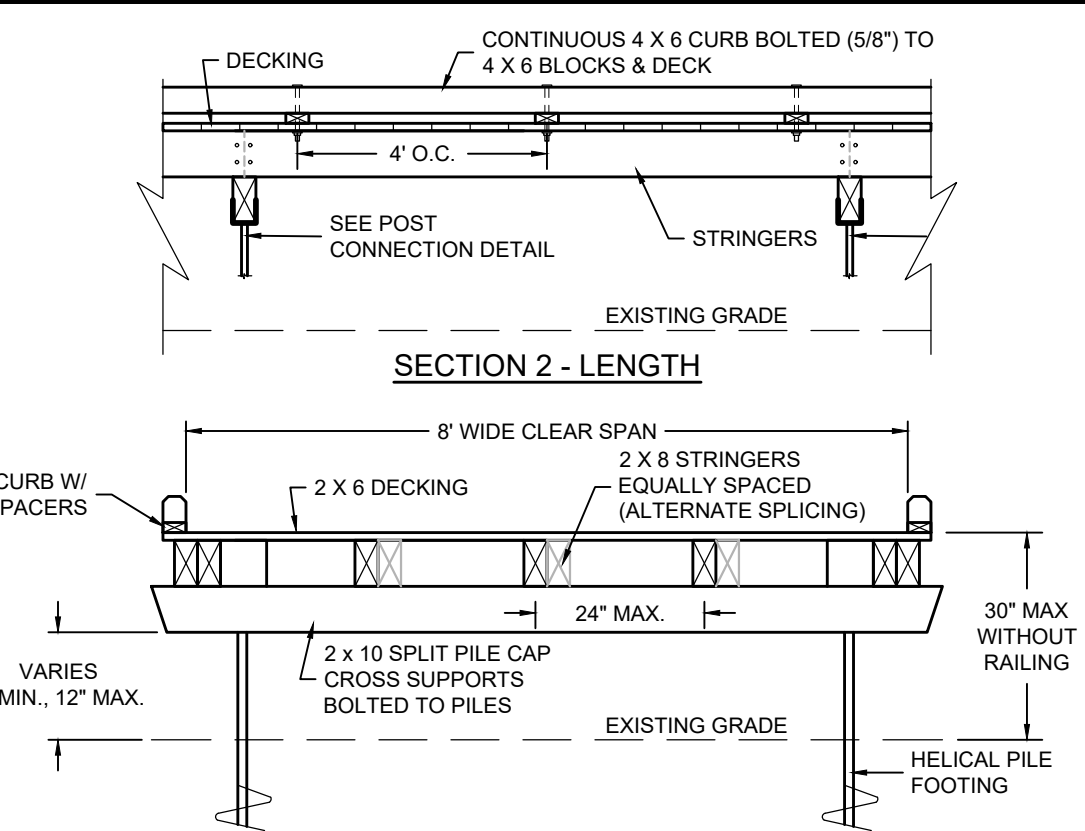
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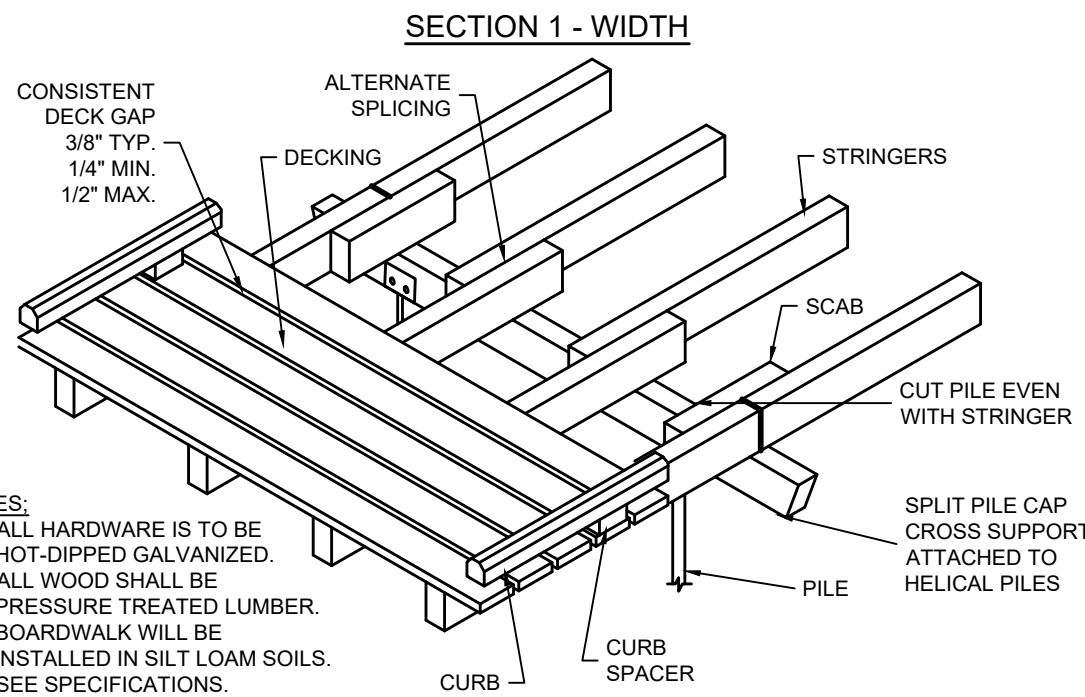
BOARDWALK HELICAL PILE FOUNDATION  
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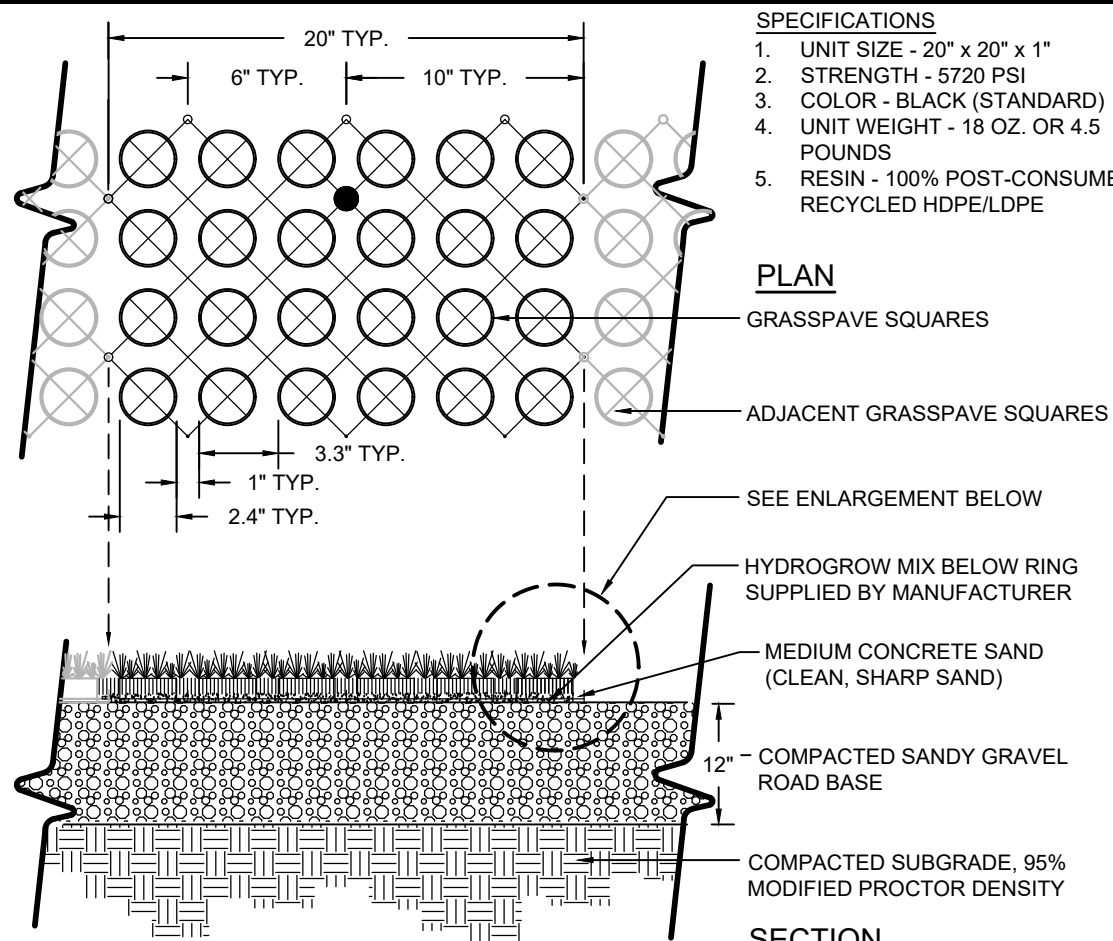
BOARDWALK BUMPOUT DETAIL  
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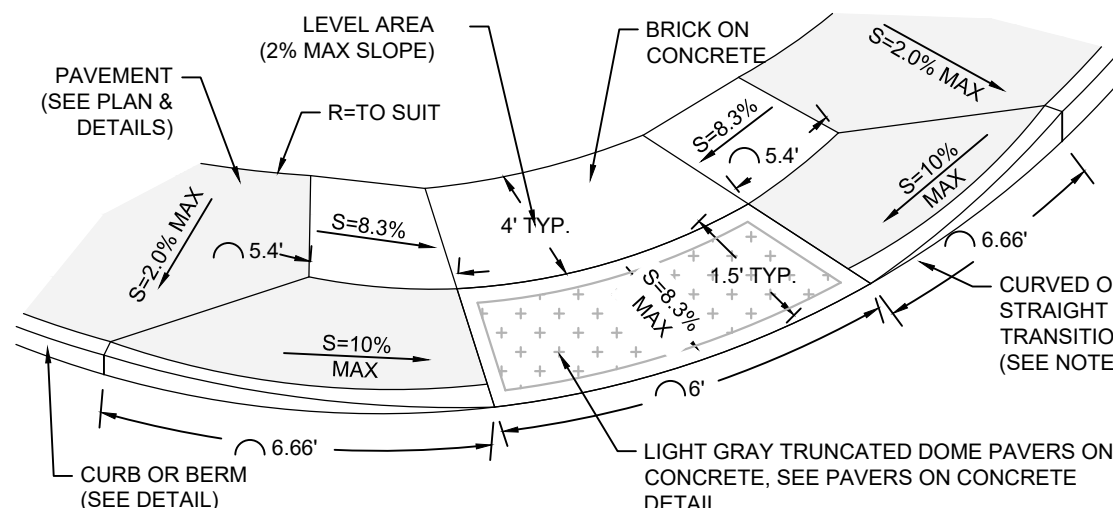
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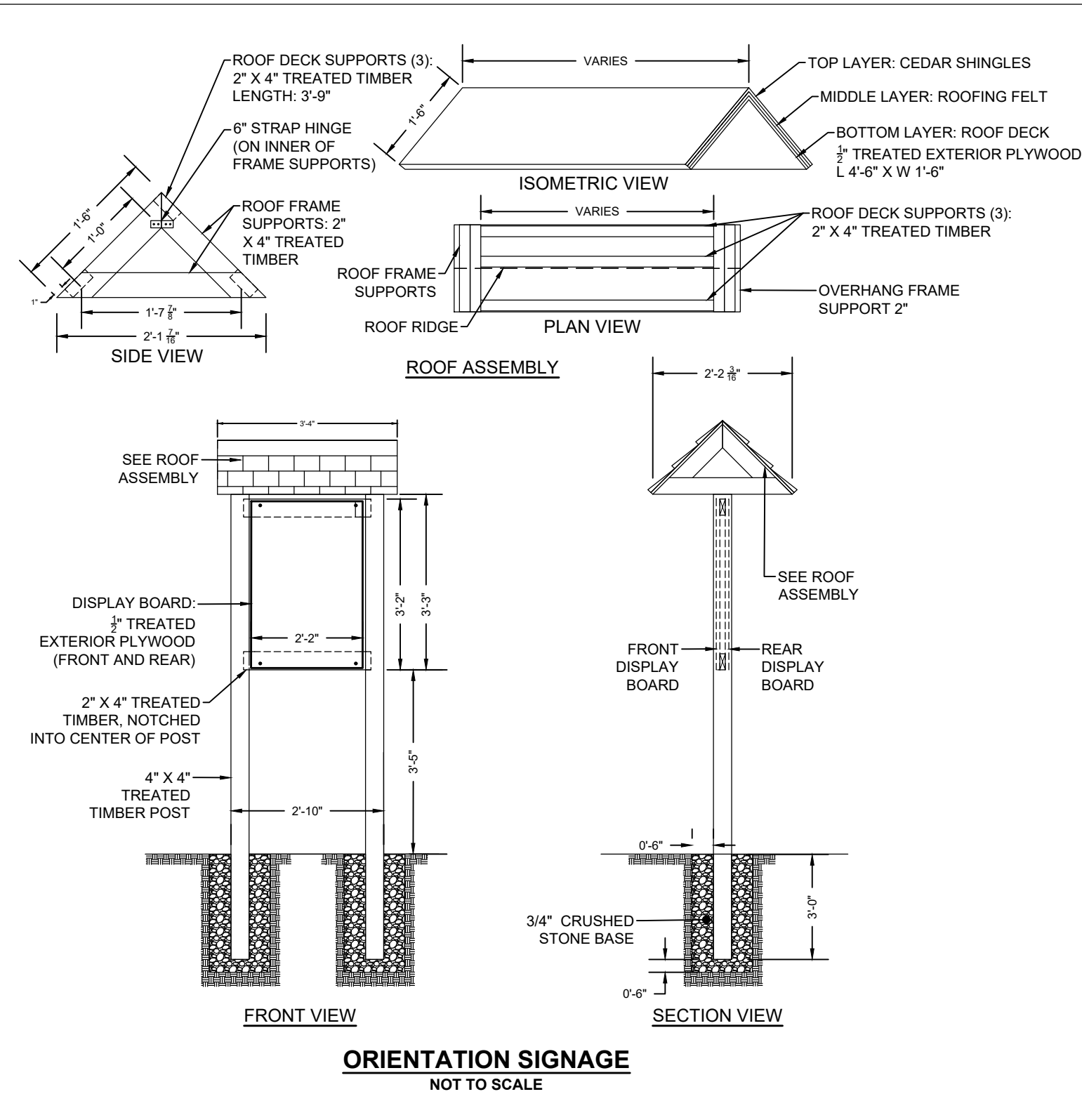
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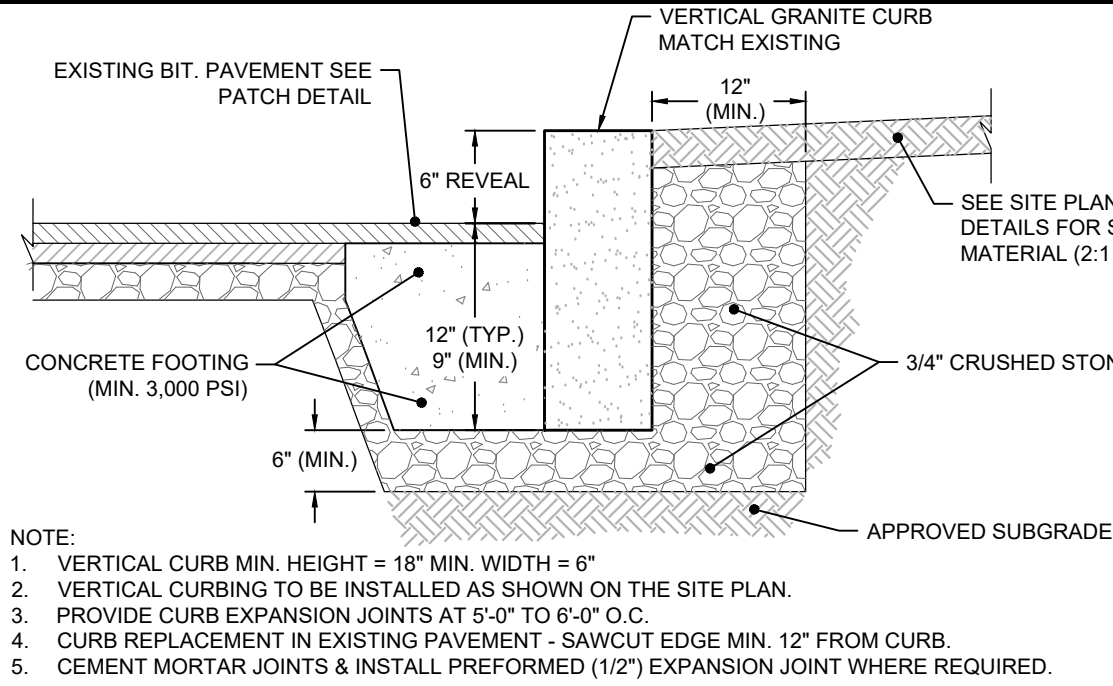
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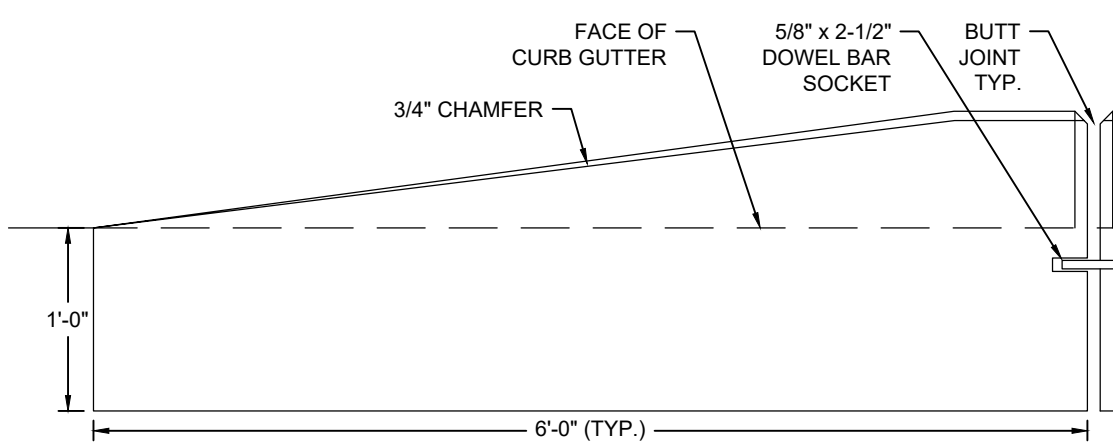
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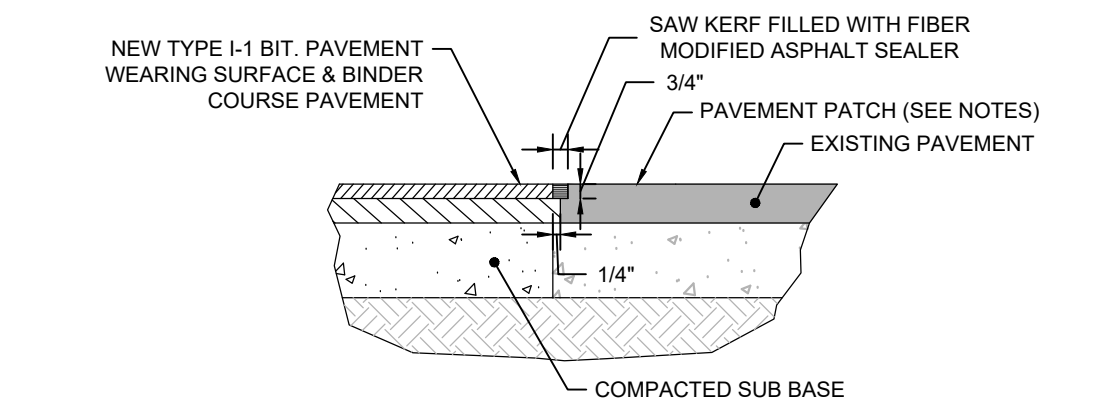
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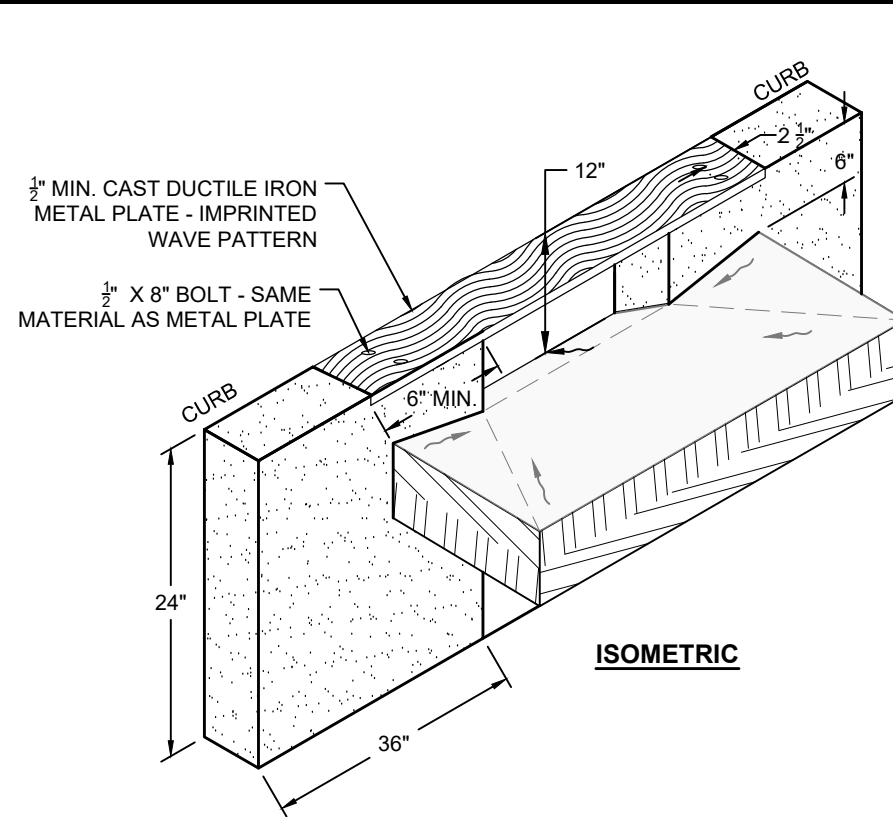
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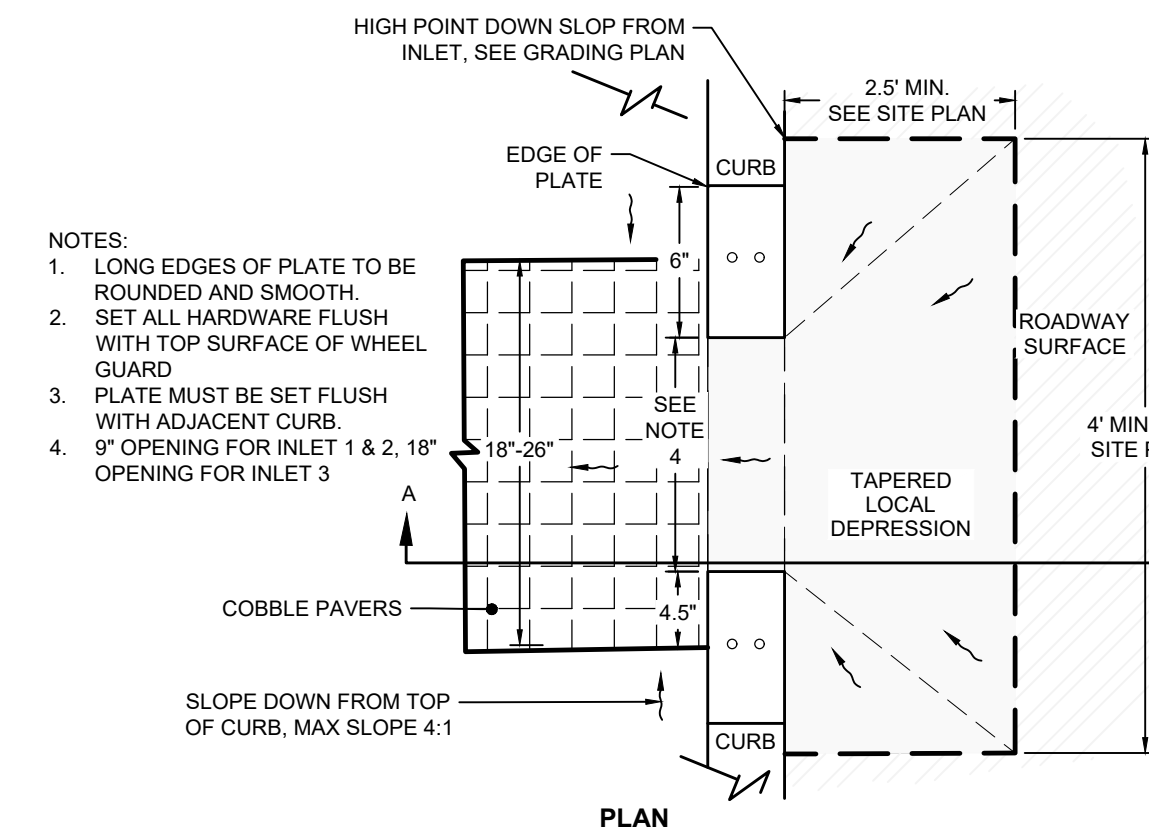
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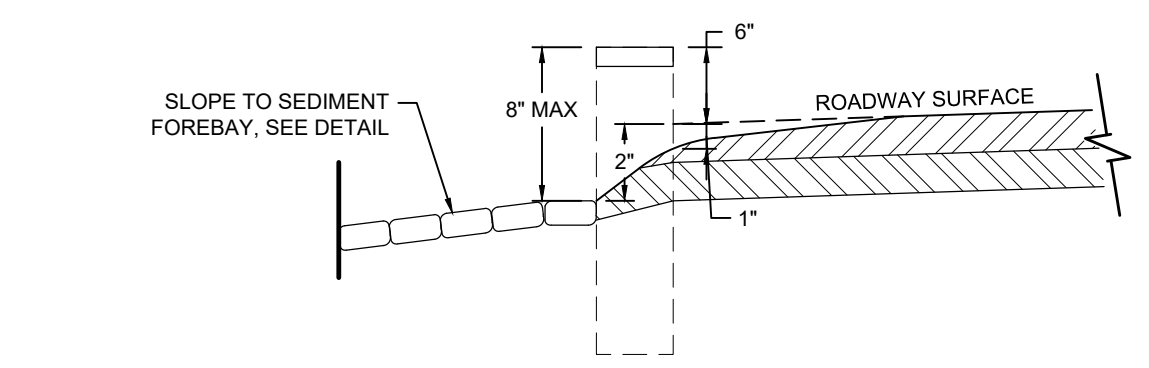
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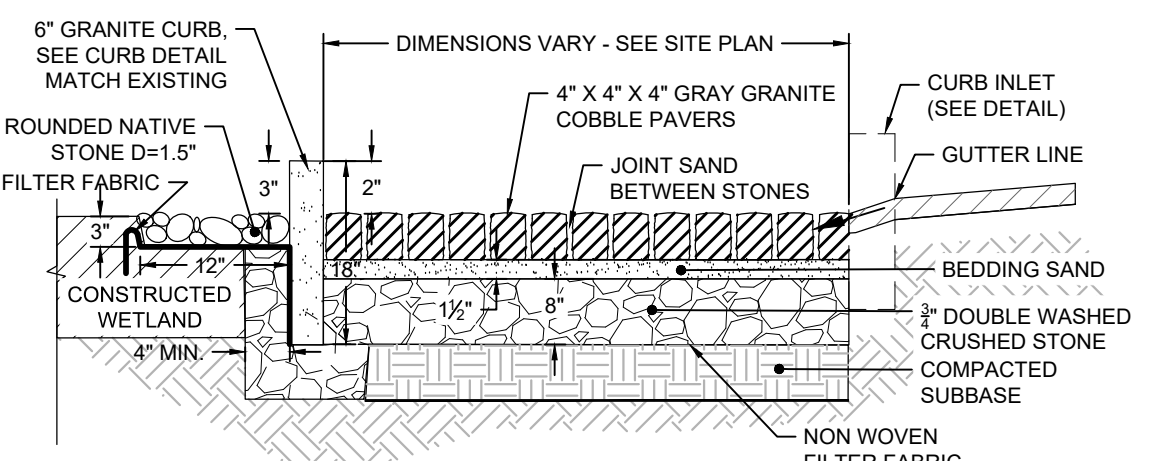
ISOMETRIC



SECTION A-A  
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SEDIMENT FOREBAY  
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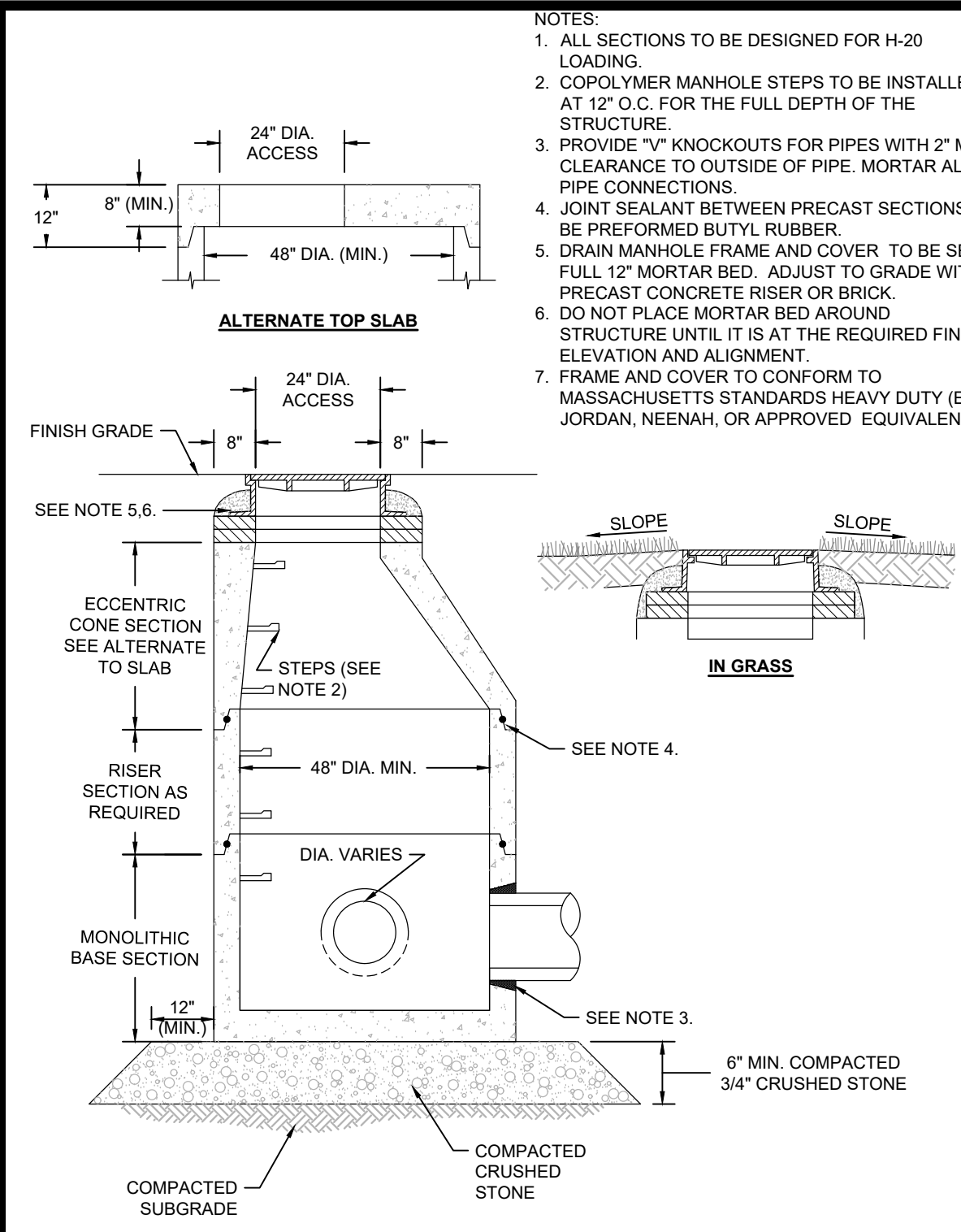
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DESIGN DEVELOPMENT ONLY  
NOT FOR CONSTRUCTION

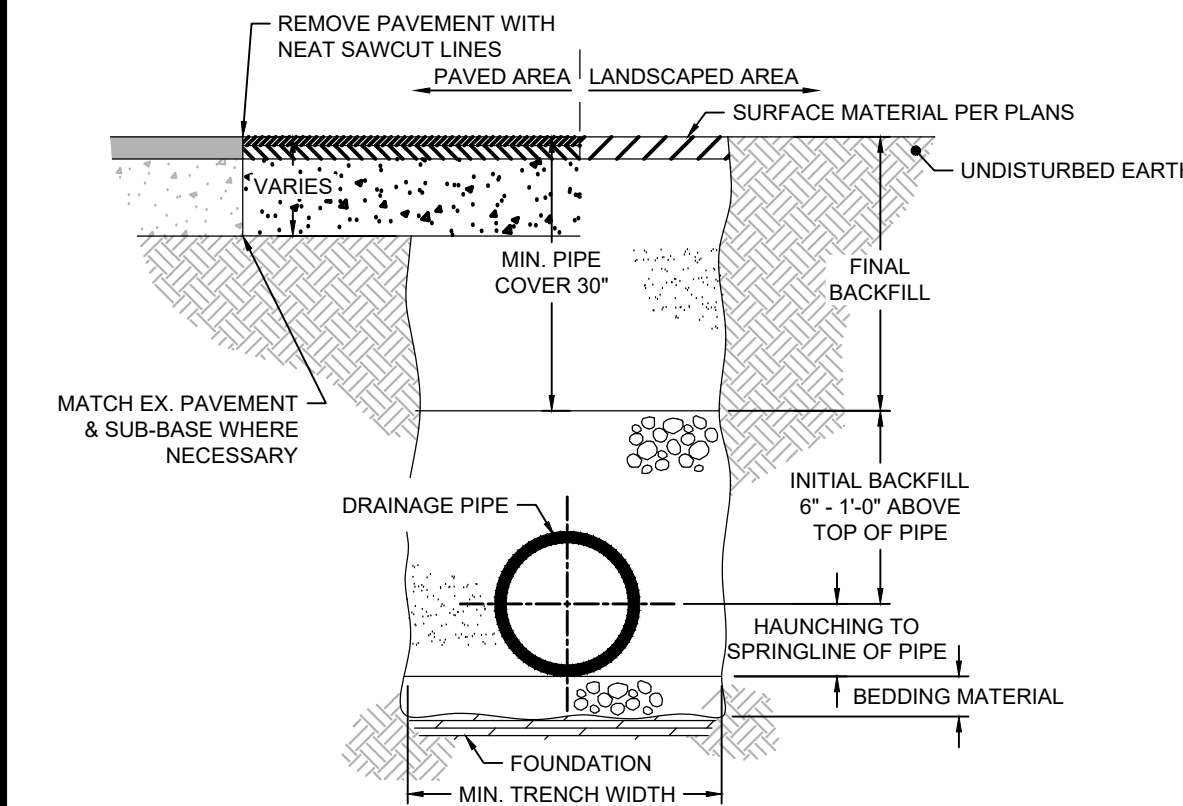
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Project Number:	2008				Sheet :	12 of 16					
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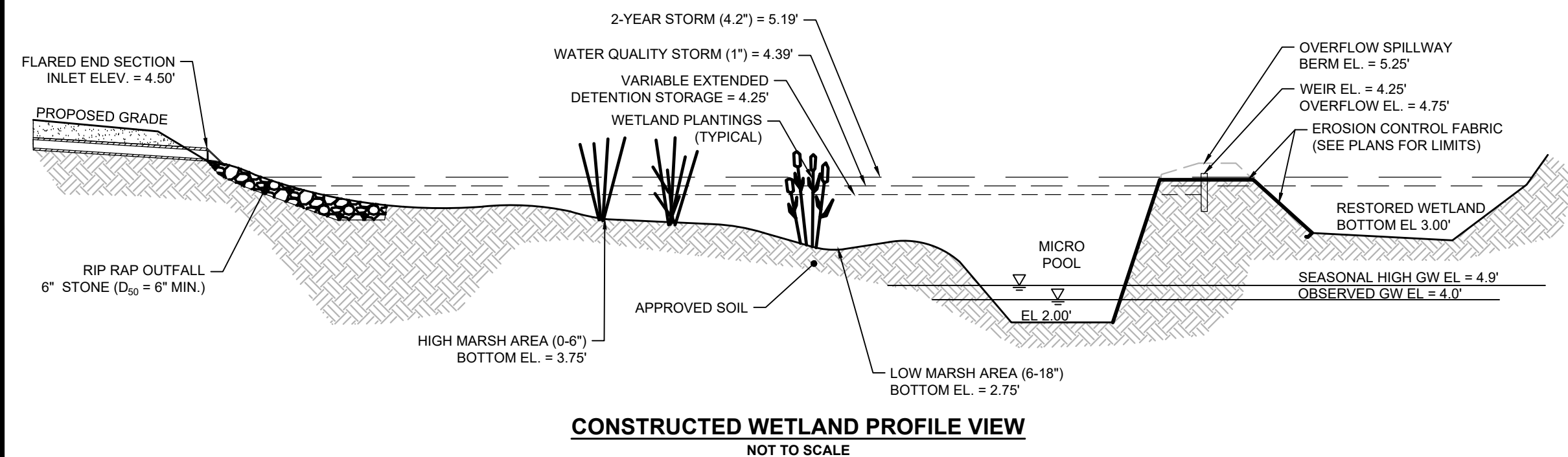


**PRECAST DRAIN MANHOLE (DMH)**  
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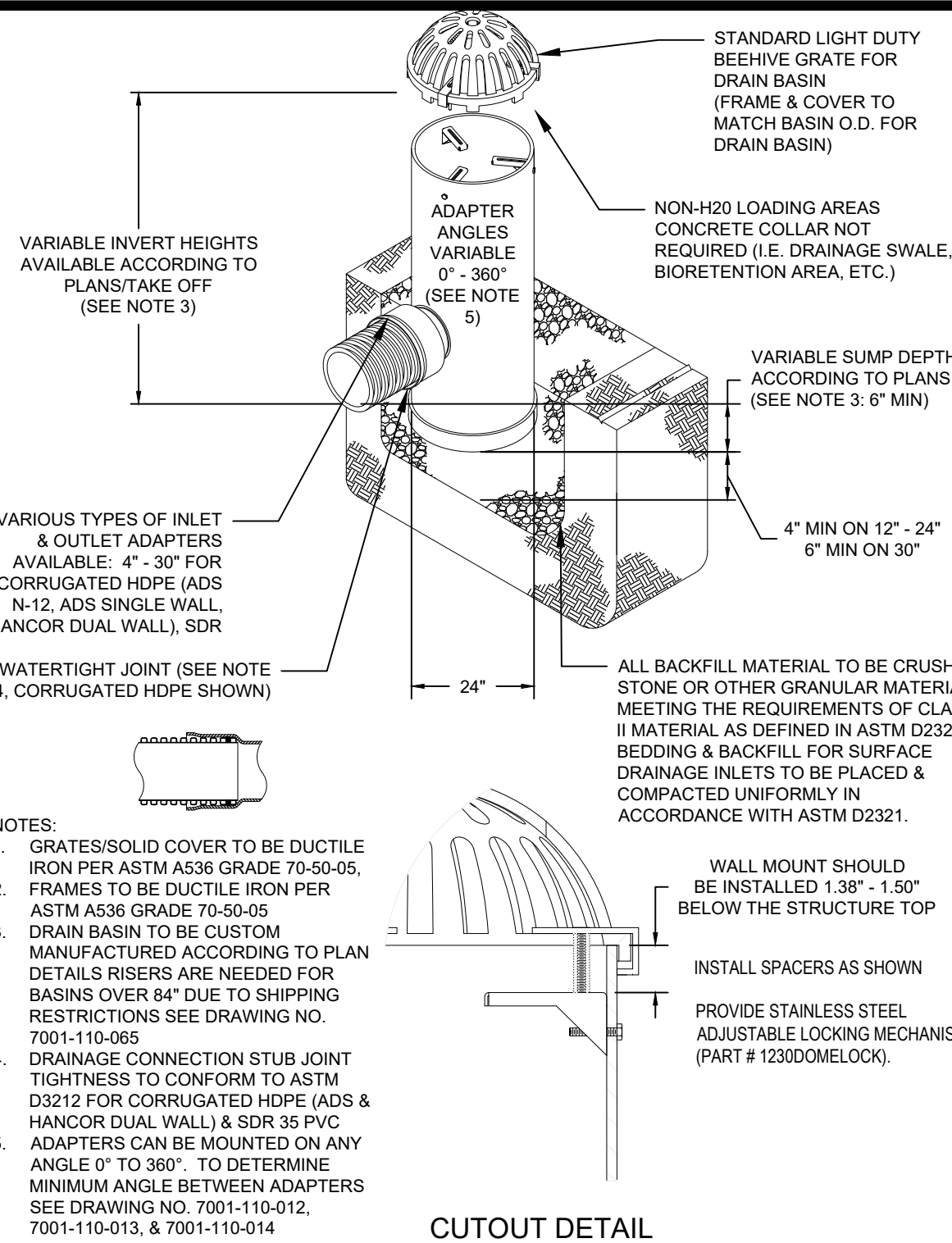


- NOTES:**
1. INSTALL DRAIN PIPE & FITTINGS IN STRICT ACCORDANCE WITH THE INSTALLATION RECOMMENDATIONS OF THE PIPE FITTING MANUFACTURER. SUCH INSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO CUTTING, SOLVENT CEMENTING & PRIMING, JOINTS, CONNECTIONS, TRANSITIONS & ALLOWANCE FOR THERMAL EXPANSION.
  2. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR WILL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER & REPLACE WITH A SUITABLE COMPACTED GRAVEL MATERIAL OR AS AN ALTERNATIVE & AT THE DISCRETION OF THE ENGINEER THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
  3. BEDDING, HAUNCHING & INITIAL BACKFILL: SUITABLE MATERIAL WILL CONSIST OF CLEAN, HARD, PARTICLES OF GRAVEL MEETING THE FOLLOWING:
- | SIEVE SIZE | PERCENT PASSING |
|------------|-----------------|
| 3/4"       | 85-95           |
| #4         | 5-15            |
| #8         | 0-3             |
4. BEDDING: UNLESS OTHERWISE APPROVED BY ENGINEER, MATERIAL WILL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS WILL BE 4" FOR 4" - 2" O" PIPE, 6" FOR 2'-6" - 3'-6" PIPE", & 1'-0" FOR 4'-0" & LARGER PIPE.
  5. FINAL BACKFILL: COMPACTED NATIVE GRAVEL OR FLOWABLE FILL.
  6. GENERAL BACKFILLING: (INCLUDING DISTURBED AREAS SURROUNDING TRENCHES) WILL BE PLACED & COMPACTED IN 1'-0" MAXIMUM VERTICAL LIFTS. CONTRACTOR WILL ACHIEVE 95% COMPACTION FOR THE BEDDING UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  7. TRENCH WIDTH: UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS WILL BE AS FOLLOWS:

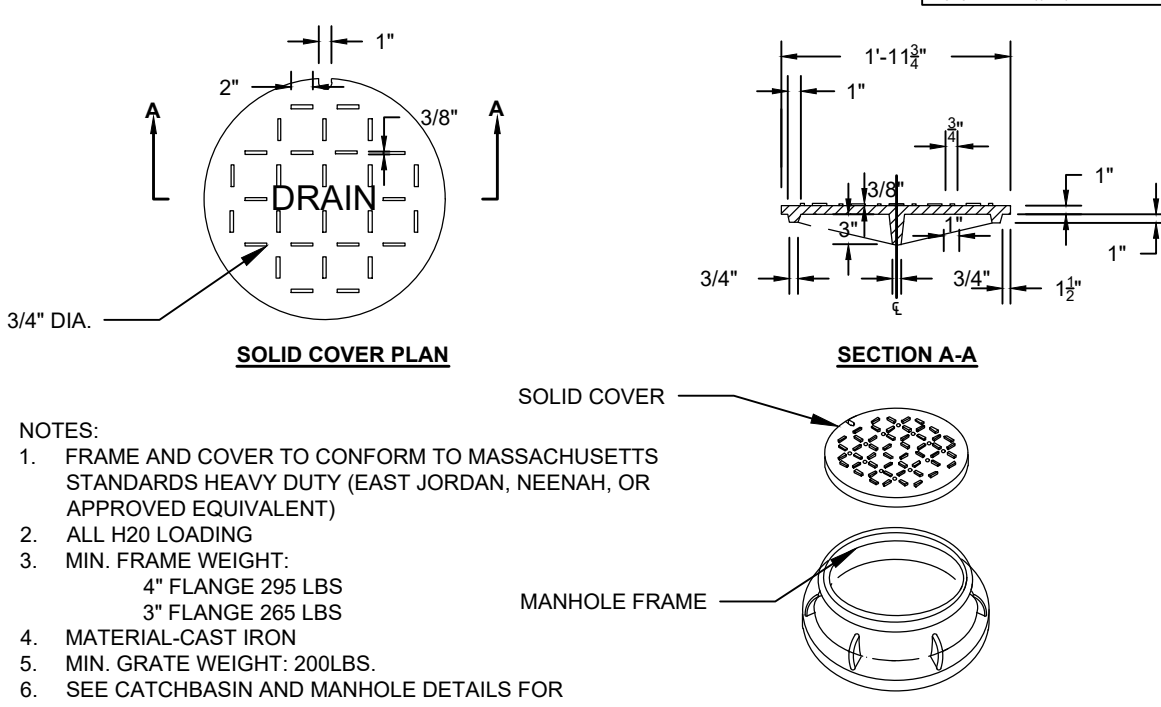
**DRAINAGE PIPE TRENCH**  
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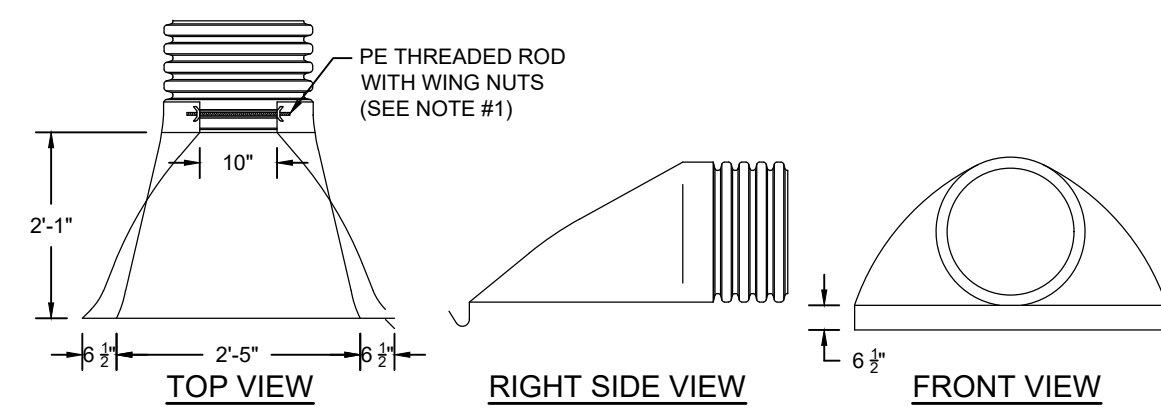
**CONSTRUCTED WETLAND PROFILE VIEW**  
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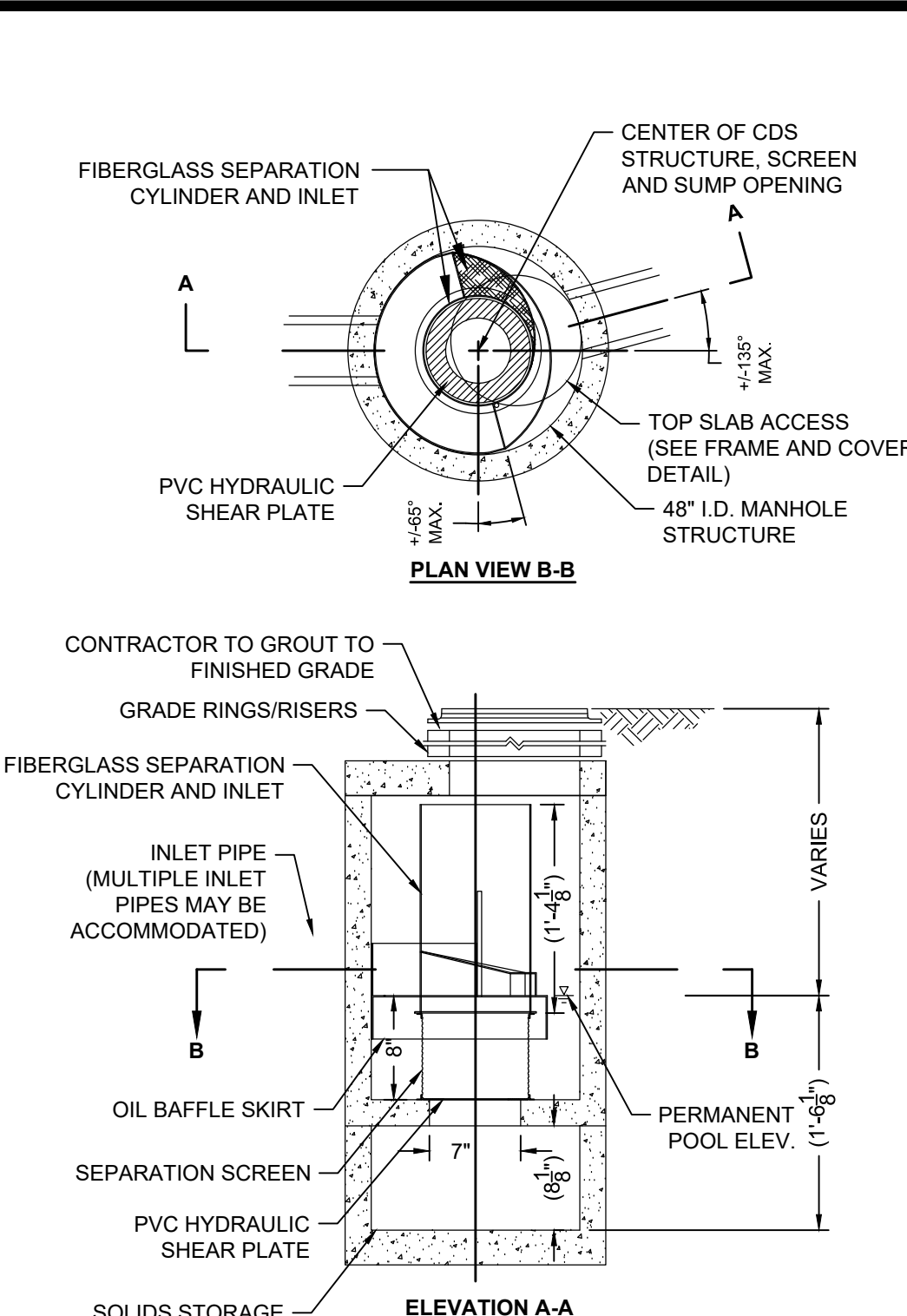
**DRAIN BASIN (DB)**  
NOT TO SCALE



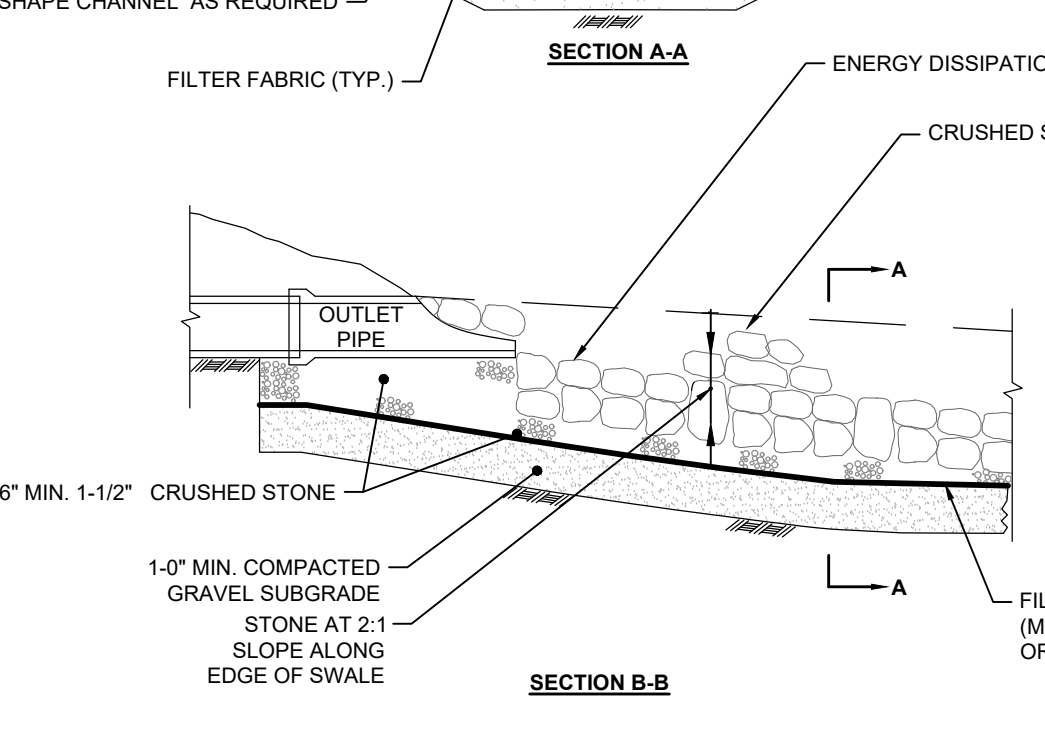
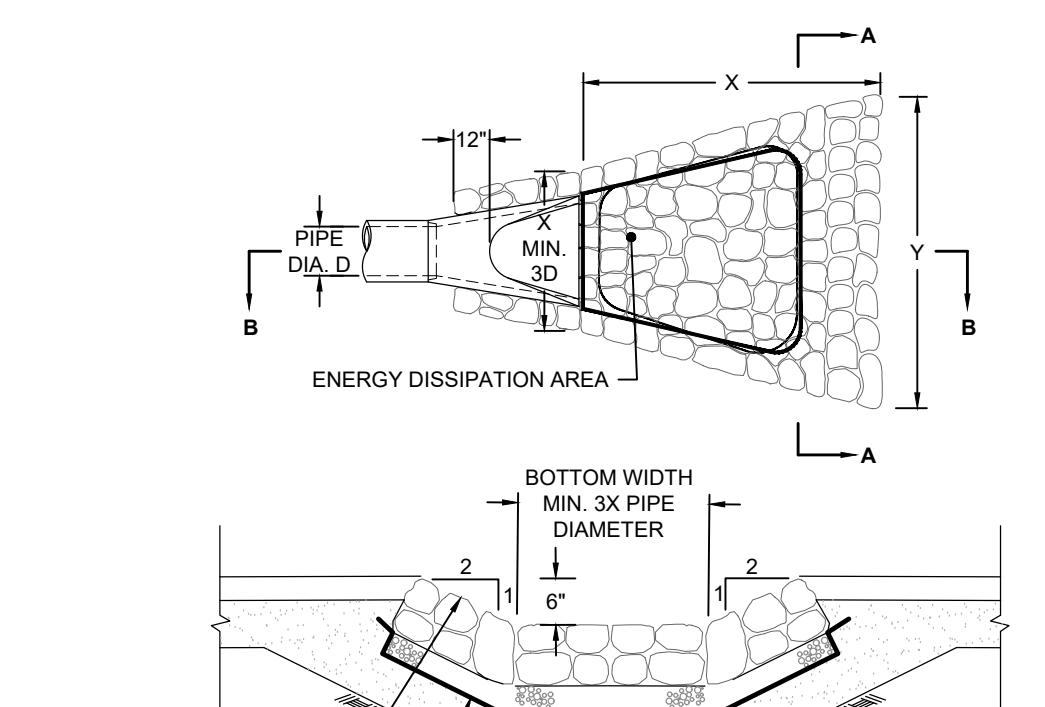
**DRAINAGE STRUCTURE FRAME AND COVER**  
NOT TO SCALE



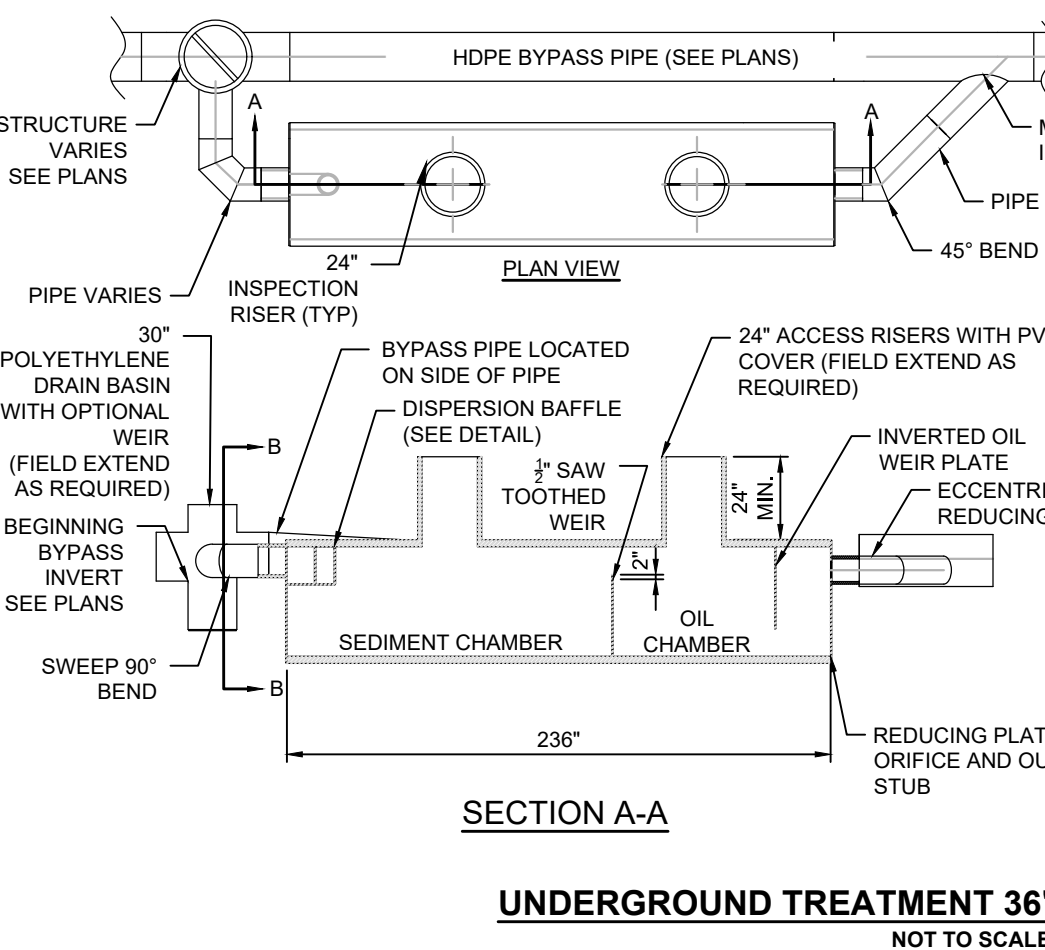
**FLARED END SECTION**  
NOT TO SCALE



**WATER QUALITY UNIT (WQU)**  
NOT TO SCALE



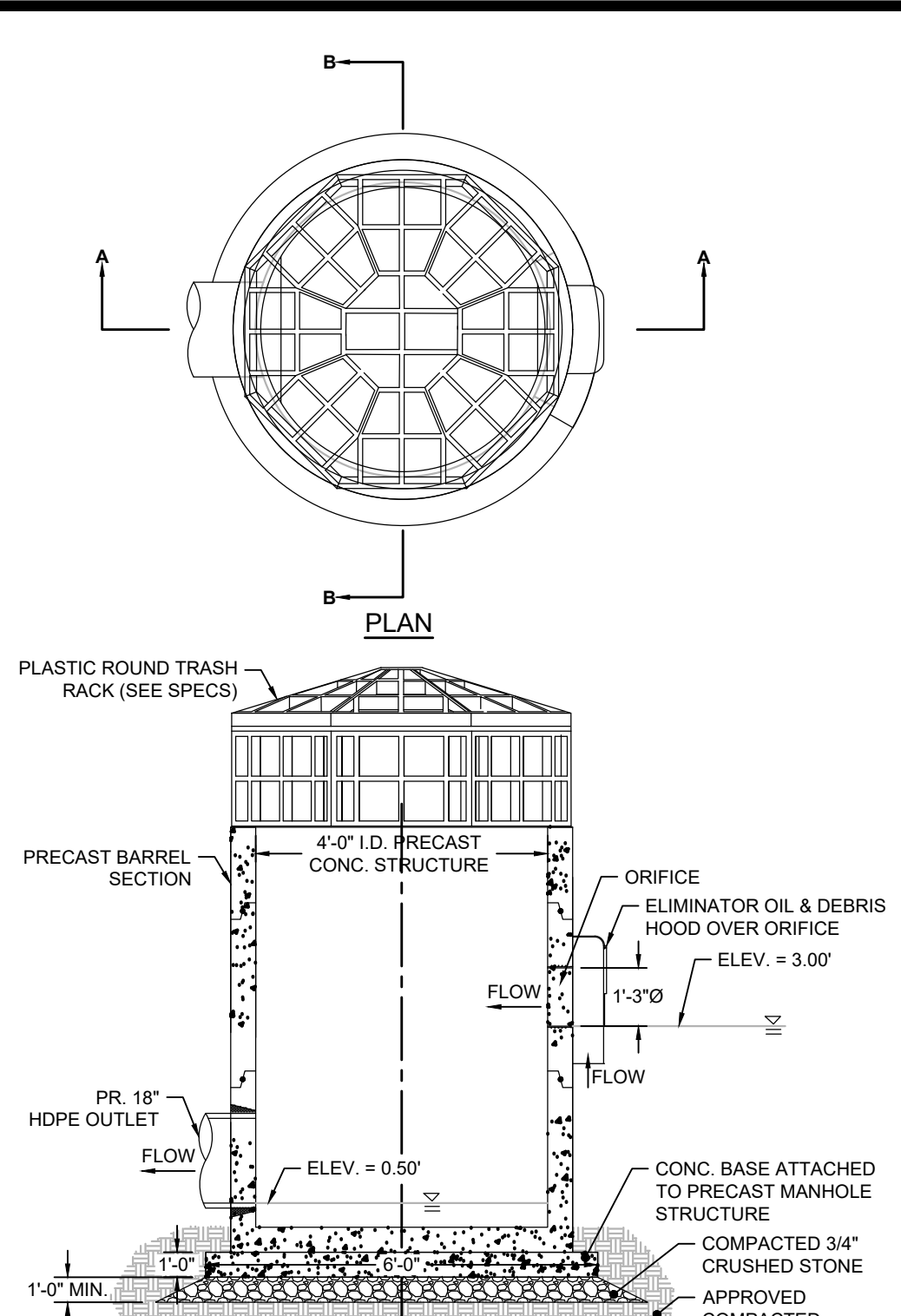
**TYPICAL RIP RAP OUTFALL**  
NOT TO SCALE



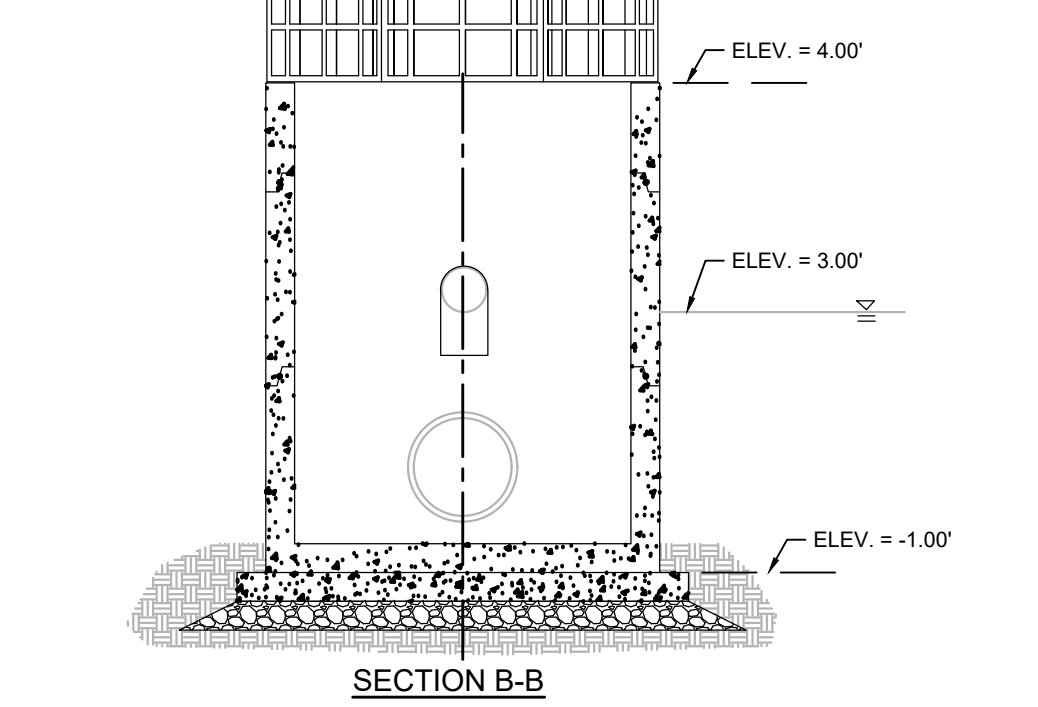
**UNDERGROUND TREATMENT 36" WATER QUALITY UNIT**  
NOT TO SCALE

- GENERAL NOTES**
1. WQU TO BE MANUFACTURED BY CONTECH OR APPROVED EQUIVALENT.
  2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. WQU CALCULATIONS AND DRAWINGS TO BE PROVIDED TO ENGINEER AND APPROVED PRIOR TO INSTALLATION.
  4. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  5. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



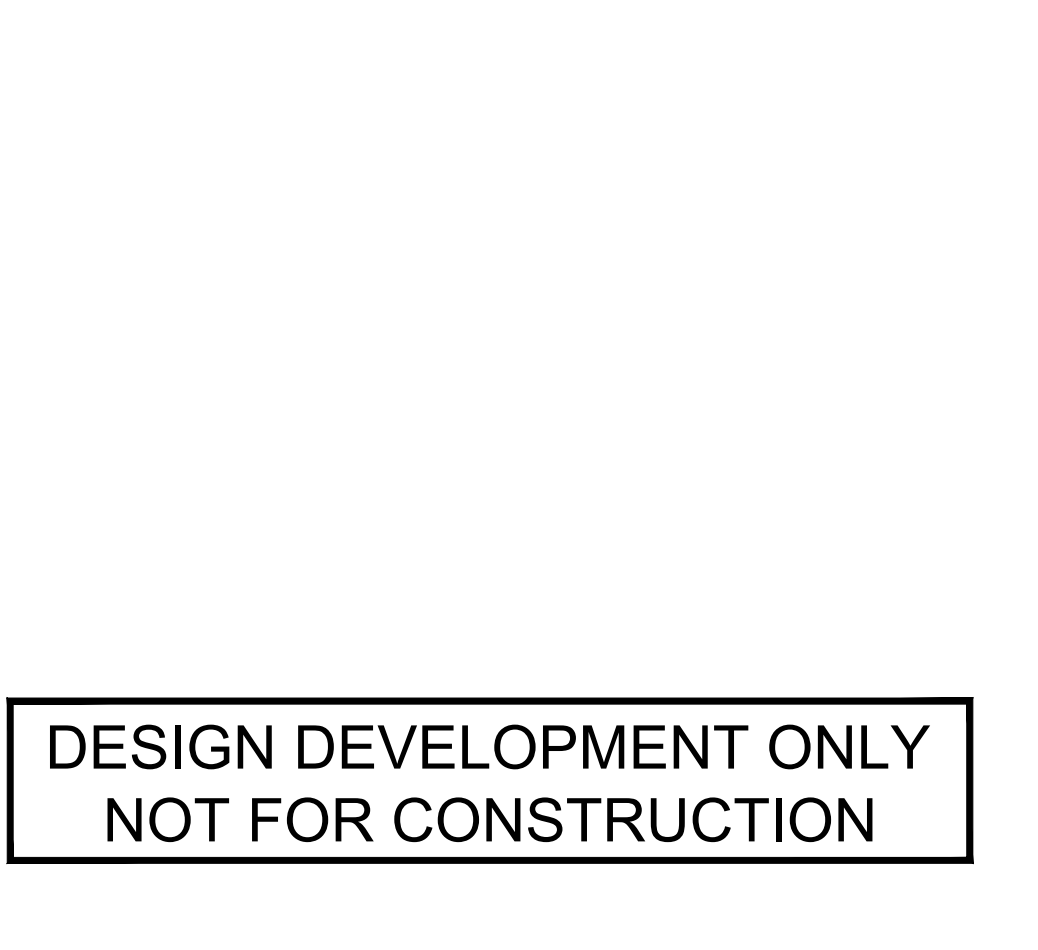
**OUTLET CONTROL STRUCTURE (OCS) W/ TRASH RACKS**  
NOT TO SCALE



**OUTLET CONTROL STRUCTURE (OCS) W/ TRASH RACKS**  
NOT TO SCALE



**OUTLET CONTROL STRUCTURE (OCS) W/ TRASH RACKS**  
NOT TO SCALE



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**Horsley Witten Group, Inc.**  
Sustainable Environmental Solutions  
40 Route 6A  
Sandwich, MA 02563  
508-833-6600 voice  
508-833-3150 fax

**LILY POND PARK IMPROVEMENTS**  
**50% DESIGN DEVELOPMENT**  
**NANTUCKET, MASSACHUSETTS**

**CONSTRUCTION DETAILS (2)**

Prepared For: **The Nantucket Land Bank**  
22 Broad Street  
Nantucket, MA  
Phone: (508) 228-7240  
Fax: ---

Survey Provided By: **Nantucket Surveyors LLC**  
5 Windy Way  
Nantucket, MA  
Phone: (508) 228-0240  
Fax: ---  
Dated: 6/30/2022

Registration:

Project Number: **20008** Sheet: **13 of 16**

Sheet Number: **C - 13**

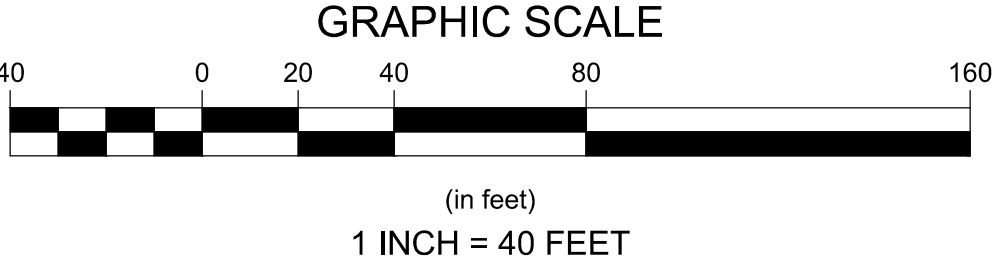


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Suggested Plant List				
Key		Botanical Name	Common Name	Size
TREES				
AR	8	<i>Acer rubrum</i>	Red Maple	2-2.5" cal.
NS	8	<i>Nyssa sylvatica</i>	Tupelo	2-2.5" cal.
PSE	8	<i>Prunus serotina</i>	Black Cherry	1.5" cal.
SAS	8	<i>Sassafras albidum</i>	Sassafras	1.5" cal.
TAM	8	<i>Tilia americana</i>	Redmond American Basswood	2-2.5" cal.
SHRUBS				
AM	8	<i>Aronia melanocarpa</i>	Black Chokeberry	#3
BH	8	<i>Baccharis halimifolia</i>	Groundsel	#3
CA	8	<i>Clethra alnifolia</i>	White Summer Sweet	#7
CPF	8	<i>Comptonia peregrina</i>	Sweet Fern	#3
IG	8	<i>Ilex glabra</i>	Inkberry	#5
IVM	8	<i>Ilex verticillata</i>	Male Winterberry	18" - 24" ht.
RVA	8	<i>Rhododendron visosum</i>	Swamp Azalea	3/4'B&B
RAG	8	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant sumac	#3
SR	8	<i>Sambucus nigra</i>	Black Elderberry	#5
VD	8	<i>Viburnum dentatum</i>	Arrowwood Viburnum	3/4' B&B
GROUND COVER / GRASSES / PERENNIALS				
Wetland				
Zone 1 - Low Marsh (12-18" Inundation)				
CL		<i>Carex lurida</i>	Lurid Sedge	#1
CP		<i>Carex Pensylvanica</i>	Pennsylvania Sedge	#1
HM		<i>Hibiscus moscheutos</i>	Rose Mallow	#1
LC		<i>Lobelia cardinalis</i>	Cardinal Flower	#1
PD		<i>Penstemon digitalis</i>	Beardtongue	#1
SN		<i>Symphytichium novae-angliae</i>	New England Aster	#1
Zone 2 - High Marsh (0-12" Inundation)				
CC		<i>Carex crinata</i>	Fringed Sedge	#1
CV		<i>Carex vulpinoidea</i>	Fox Sedge	#1
EV		<i>Elymus virginicus</i>	Virginia Wild Rye	#1
EP		<i>Eupatorium perfoliatum</i>	Common Boneset	#1
IV		<i>Iris versicolor</i>	Blue Flag	#1
JE		<i>Juncus effusus</i>	Soft Rush	#1
LC		<i>Lobelia cardinalis</i>	Cardinal Flower	#1
SCY		<i>Scirpus cyperinus</i>	Wool Grass	#1
VH		<i>Verbena hastata</i>	Blue Vervain	#1
Zone 3 - Infrequent Inundation				
OB		<i>Oenothera biennis</i>	Evening Primrose	#1
BT		<i>Baptisia tinctoria</i>	Yellow Wild Indigo	#1
EX		<i>Eragrostis spectabilis</i>	Purple Lovegrass	#1
PD		<i>Penstemon digitalis</i>	Beardtongue	#1
SS		<i>Schizachyrium scoparium</i>	Little Bluestem	#1
Upland				
AI	8	<i>Asclepias incarnata</i>	Swamp Milkweed	#1
ATW	8	<i>Asclepias tuberosa</i>	Butterfly Weed	#1
ANA	8	<i>Aster novae-angliae</i>	New England Aster	#1
BA	8	<i>Baptisia tinctoria</i>	Yellow Wild Indigo	#1
CA	8	<i>Carex appalachica</i>	Appalachina Sedge	#1
DF	8	<i>Deschampsia flexuosa</i>	Wavy Hairgrass	#1
EP	8	<i>Echinacea purpurea</i>	Purple Coneflower	#1
ES	8	<i>Eragrostis spectabilis</i>	Purple Lovegrass	#1
EH	8	<i>Eupatorium hyssopifolium</i>	Hyssop-leaved Thoroughwort	#1
GM	8	<i>Geranium maculatum</i>	Wild Geranium	#1
IVE	8	<i>Iris versicolor</i>	Blue Flag	#1
LS	8	<i>Liatis spicata</i>	Blazing Star	#1
OB	8	<i>Oenothera biennis</i>	Evening Primrose	#1
PVG	8	<i>Panicum Virgatum</i>	Switch Grass	#1
PD	8	<i>Penstemon digitalis</i>	Beardtongue	#1
SS	8	<i>Schizachyrium scoparium</i>	Little Bluestem	#1
SSG	8	<i>Solidago sempervirens</i>	Seaside Goldenrod	#1
VH	8	<i>Verbena hastata</i>	Blue Vervain	#1



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Horsley Witten Group, Inc.

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90 Route 6A

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Plan Set:

LILY POND PARK IMPROVEMENTS

50% DESIGN DEVELOPMENT

NANTUCKET, MASSACHUSETTS

Plan Title:

PLANTING PLAN

Prepared For:

The Nantucket Land Bank

22 Broad Street

Nantucket, MA

Phone: (508) 228-7240

Fax: ---

Survey Provided By:

Nantucket Surveyors LLC

5 Windy Way

Nantucket, MA

Phone: (508) 228-0240

Fax: ---

Dated: 6/30/2022

Registration:

DRAFT

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Project Number:

20008

Sheet :

14 of 16

Sheet Number:

C - 14

Date:

FEBRUARY 2024

Designed By:

EEB/JMP

Drawn By:

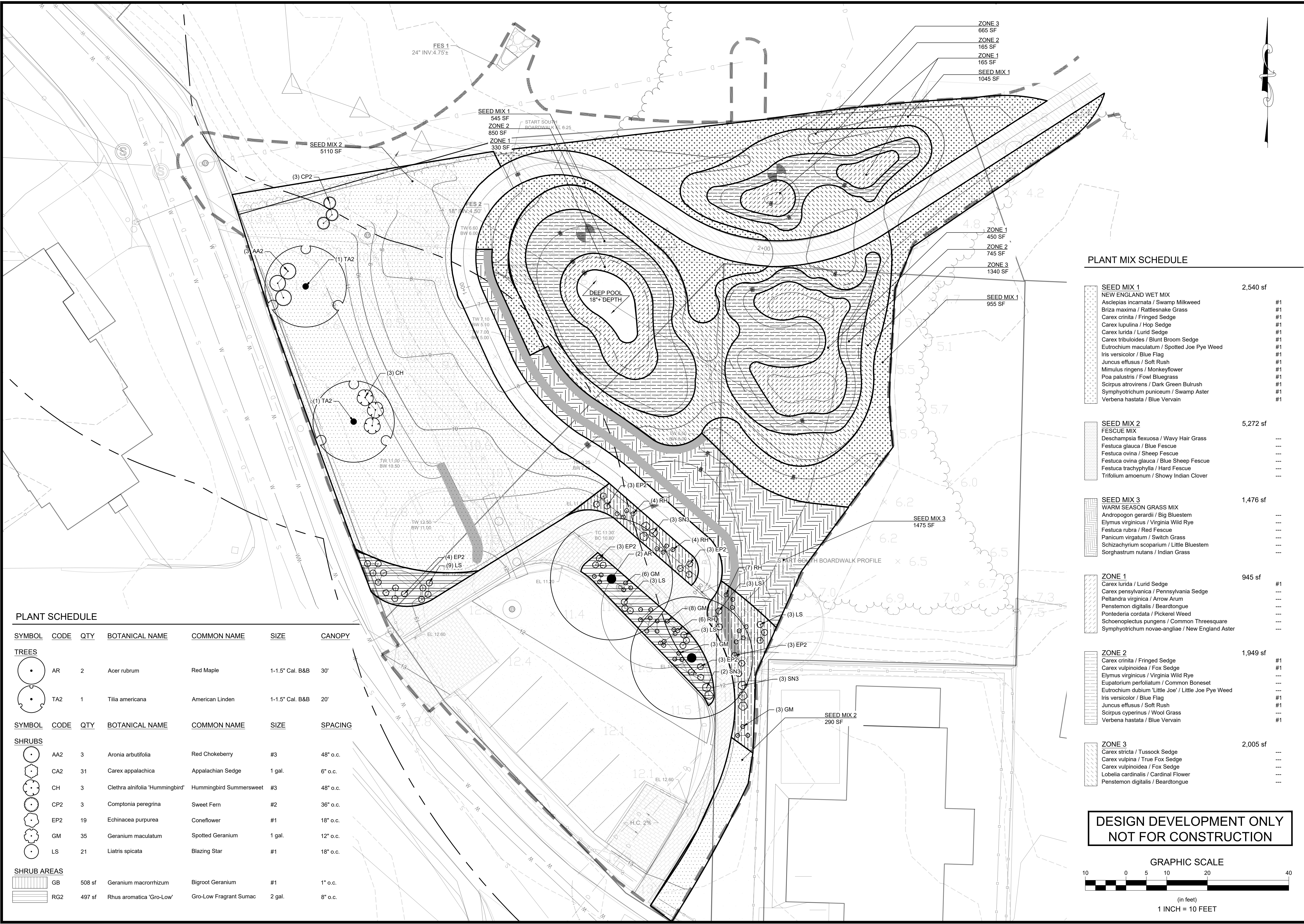
EEB/JMP

Checked By:

BRK



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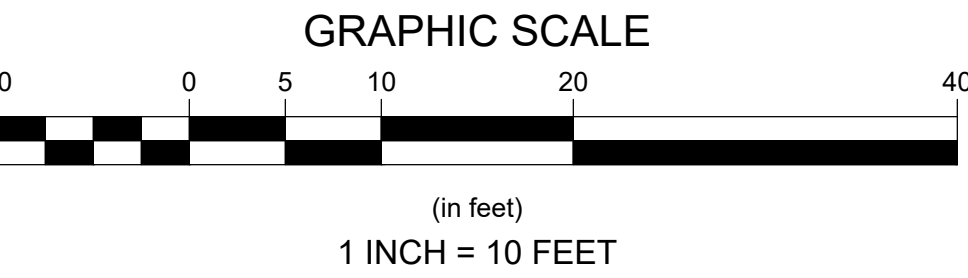
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CANOPY
TREES						
	AR	2	Acer rubrum	Red Maple	1-1.5" Cal. B&B	30'
	TA2	1	Tilia americana	American Linden	1-1.5" Cal. B&B	20'
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS						
	AA2	3	Aronia arbutifolia	Red Chokeberry	#3	48" o.c.
	CA2	31	Carex appalachica	Appalachian Sedge	1 gal.	6" o.c.
	CH	3	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#3	48" o.c.
	CP2	3	Comptonia peregrina	Sweet Fern	#2	36" o.c.
	EP2	19	Echinacea purpurea	Coneflower	#1	18" o.c.
	GM	35	Geranium maculatum	Spotted Geranium	1 gal.	12" o.c.
	LS	21	Liatris spicata	Blazing Star	#1	18" o.c.
SHRUB AREAS						
	GB	508 sf	Geranium macrorrhizum	Bigroot Geranium	#1	1" o.c.
	RG2	497 sf	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 gal.	8" o.c.

PLANT MIX SCHEDULE

	SEED MIX 1 NEW ENGLAND WET MIX Asclepias incarnata / Swamp Milkweed Briza maxima / Rattlesnake Grass Carex crinita / Fringed Sedge Carex lupulina / Hop Sedge Carex lurida / Lurid Sedge Carex tribuloides / Blunt Broom Sedge Eutrochium maculatum / Spotted Joe Pye Weed Iris versicolor / Blue Flag Juncus effusus / Soft Rush Mimulus ringens / Monkeyflower Poa palustris / Fowl Bluegrass Scirpus atrovirens / Dark Green Bulrush Symphyotrichum puniceum / Swamp Aster Verbena hastata / Blue Vervain	2,540 sf	#1 #1 #1 #1 #1 #1 #1 #1 #1 #1 #1 #1 #1 #1 #1
	SEED MIX 2 FESCUE MIX Deschampsia flexuosa / Wavy Hair Grass Festuca glauca / Blue Fescue Festuca ovina / Sheep Fescue Festuca ovina glauca / Blue Sheep Fescue Festuca trachyphylla / Hard Fescue Trifolium amoenum / Showy Indian Clover	5,272 sf	--- --- --- --- --- ---
	SEED MIX 3 WARM SEASON GRASS MIX Andropogon gerardii / Big Bluestem Elymus virginicus / Virginia Wild Rye Festuca rubra / Red Fescue Panicum virgatum / Switch Grass Schizachyrium scoparium / Little Bluestem Sorghastrum nutans / Indian Grass	1,476 sf	--- --- --- --- --- ---
	ZONE 1 Carex lurida / Lurid Sedge Carex pensylvanica / Pennsylvania Sedge Peltandra virginica / Arrow Arum Penstemon digitalis / Beardtongue Pontederia cordata / Pickerel Weed Schoenoplectus pungens / Common Threesquare Symphyotrichum novae-angliae / New England Aster	945 sf	#1 --- --- --- --- --- ---
	ZONE 2 Carex crinita / Fringed Sedge Carex vulpinoidea / Fox Sedge Elymus virginicus / Virginia Wild Rye Eupatorium perfoliatum / Common Boneset Eutrochium dubium 'Little Joe' / Little Joe Pye Weed Iris versicolor / Blue Flag Juncus effusus / Soft Rush Scirpus cyperinus / Wool Grass Verbena hastata / Blue Vervain	1,949 sf	#1 #1 --- --- --- #1 #1 #1 #1
	ZONE 3 Carex stricta / Tussock Sedge Carex vulpina / True Fox Sedge Carex vulpinoidea / Fox Sedge Lobelia cardinalis / Cardinal Flower Penstemon digitalis / Beardtongue	2,005 sf	--- --- --- --- ---

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Plan Set:

LILY POND PARK IMPROVEMENTS  
50% DESIGN DEVELOPMENT  
NANTUCKET, MASSACHUSETTS

Prepared For:

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22 Broad Street  
Nantucket, MA  
Phone: (508) 228-7240  
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Sheet Number:

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Task:

FEBRUARY 2024

Designed By:

EEB/JMP

Drawn By:

EEB/JMP

Checked By:

BRK



GENERAL PLANTING NOTES:

- THE FOLLOWING NOTES ARE PROVIDED AS GENERAL PLANTING GUIDELINES ONLY. THOROUGHLY REVIEW THE PROJECT SPECIFICATIONS FOR ALL LANDSCAPE REQUIREMENTS PRIOR TO THE COMMENCEMENT OF ANY LANDSCAPE WORK. SUBMIT IN WRITING TO THE LANDSCAPE ARCHITECT ANY QUESTIONS OR CLARIFICATIONS REQUIRED AT A MINIMUM OF 30 DAYS PRIOR TO ORDERING ANY MATERIALS OR BEGINNING ANY LANDSCAPE CONSTRUCTION.
2. SUBMIT TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL ALL REQUIRED LANDSCAPE SUBMITTALS AS DESCRIBED IN THE SPECIFICATIONS INCLUDING A PLANT LIST WITH PLANT SIZE AND QUANTITIES TO BE ORDERED PRIOR TO DELIVERY TO THE PROJECT SITE.
3. FURNISH AND INSTALL ALL PLANTS AS SHOWN ON THE DRAWINGS AND IN THE SIZE AND QUANTITIES SPECIFIED ON THE PLANTING SCHEDULE. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY BIOLOGIST OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTS TO COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION INC.
5. PLANTS TO BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS. USE HEALTHY NURSERY GROWN PLANTS THAT HAVE A WELL DEVELOPED ROOT SYSTEM. PLANTS MUST BE FREE OF DISEASE, INSECTS, EGGS OR LARVAE.
6. INSTALL PLANTS WITHIN ONE (1) WEEK OF PURCHASE. IF PLANTS ARE TO BE STORED AT THE SITE PRIOR TO PLANTING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THEY ARE PROPERLY MAINTAINED, WATERED, AND REMAIN HEALTHY.
7. PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT. SUBMIT TO THE LANDSCAPE ARCHITECT IN WRITING THE PROPOSED PLANTING SCHEDULE. OBTAIN APPROVAL OF PLANTING SCHEDULE FROM THE LANDSCAPE ARCHITECT PRIOR TO PERFORMING ANY WORK.
8. SEASONS FOR PLANTING:
- |         |               |                             |
|---------|---------------|-----------------------------|
| SPRING: | DECIDUOUS:    | APRIL 1 TO JUNE 15          |
|         | EVERGREEN:    | APRIL 1 TO JUNE 15          |
|         | PERENNIALS:   | APRIL 15 TO JUNE            |
|         | GROUNDCOVERS: | APRIL 15 TO JUNE 1          |
| FALL:   | DECIDUOUS:    | SEPTEMBER 15 TO NOVEMBER 15 |
|         | EVERGREEN:    | SEPTEMBER 15 TO NOVEMBER 15 |
|         | PERENNIALS:   | SEPTEMBER 15 TO NOVEMBER 15 |
|         | GROUNDCOVERS: | SEPTEMBER 15 TO NOVEMBER 15 |
- LIVE STAKES: PLANTS WHILE DORMANT FROM DECEMBER 1ST THROUGH MARCH 31ST
9. PLANTING UNDER FROZEN CONDITIONS WILL NOT BE PERMITTED. PLANTING BEFORE OR AFTER THE ABOVE REFERENCED PLANTING DATES WILL INCREASE THE LIKELIHOOD OF PLANT ESTABLISHMENT FAILURE. ANY DEVIATION FROM THE ABOVE REFERENCED PLANTING DATES IS UNDERTAKEN AT SOLE RISK OF THE CONTRACTOR AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY ADDITIONAL MAINTENANCE AND WATERING WHICH MAY BE REQUIRED TO ENSURE SATISFACTORY PLANT ESTABLISHMENT.
10. FURNISH ONE YEAR MANUFACTURER WARRANTY FOR TREES, PLANTS, AND GROUND COVER AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. EXCEPTIONS ARE DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD. THE DATE OF FINAL ACCEPTANCE OF ALL COMPLETED PLANTING WORK ESTABLISHES THE END OF INSTALLATION AND INITIAL MAINTENANCE PERIOD AND THE COMMENCEMENT OF THE GUARANTEE PERIOD.
11. ALL TREES WITHIN 5'-0" OF WALKWAYS AND SIDEWALKS TO HAVE A 6'-8" STANDARD BRANCHING HEIGHT.
12. INSPECT ALL AREAS TO BE PLANTED OR SEEDED PRIOR TO STARTING ANY LANDSCAPE WORK. REPORT ANY DEFECTS SUCH AS INCORRECT GRADING, INCORRECT SUBGRADE ELEVATIONS OR DRAINAGE PROBLEMS, ETC. TO THE LANDSCAPE ARCHITECT AND ENGINEER PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF SUBGRADE AREAS TO BE PLANTED, AND THE LANDSCAPE CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL LANDSCAPE WORK.
13. PROVIDE PROPER PREPARATION OF ALL PROPOSED PLANTED AND SEEDED AREAS PER THE NOTES AND SPECIFICATIONS.
14. ALL PLANT LAYOUT AND ACTUAL PLANTING LOCATIONS ARE TO BE FIELD VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT AT A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO SCHEDULING ANY FIELD INSPECTIONS.
15. BALL AND BURLAP: REMOVE BURLAP AND WIRE BASKETS FROM TOPS OF BALLS AND FROM TOP HALF OF ROOTBALL AS INDICATED ON DRAWINGS. REMOVE PALLET, IF ANY, BEFORE SETTING.
16. POTTED PLANTS: REMOVE THE PLANT FROM THE POT AND LOOSEN OR SCORE THE ROOTS BEFORE PLANTING TO PROMOTE OUTWARDS ROOT GROWTH INTO THE SOIL.
17. PLUGS: PLANT UPRIGHT AND NOT AT AN ANGLE. DIG PLANTING HOLES LARGE ENOUGH AND DEEP ENOUGH TO ACCOMMODATE THE ENTIRE ROOT MASS. PLANT PLUGS WITH NO TWISTED OR BALLED ROOTS AND WITH NO ROOTS EXPOSED ABOVE THE GRADE LINE. HAND PACK THE SOIL AROUND THE ENTIRE PLUG ROOT MASS.
18. DIG THE THE PLANTING HOLE TO THE SAME DEPTH AS THE ROOT BALL AND TWO TO THREE TIMES DEEPER. SCORE ALL SIDES OF THE HOLE. PLACE THE PLANT IN THE HOLE SO THE TOP OF ROOT BALL IS EVEN WITH SOIL SURFACE. FILL THE HOLE HALFWAY AND THEN ADD WATER ALLOWING IT SEEP INTO BACK FILLED MATERIAL. BE SURE TO REMOVE ALL AIR POCKETS FROM BACK FILLED SOIL. DO NOT SPREAD SOIL ON TOP OF THE ROOTBALL. IF SOIL IS EXTREMELY POOR, REPLACE BACK FILL WITH GOOD QUALITY TOP SOIL. AMEND THE SOIL, AS NECESSARY.
19. CREATE A 2" TO 4" BERM AROUND THE EDGE OF PLANTING HOLE WITH REMAINING SOIL TO RETAIN WATER.
20. REMOVE ALL PLANT TAGS AND FLAGS FROM THE PLANTS.
21. MULCH ALL PLANTING BEDS AS INDICATED ON DRAWINGS. UNLESS NOTED OTHERWISE, ALL PLANTS TO RECEIVE 2-3 INCHES OF MULCH. DO NOT PILE OR MOUND MULCH AROUND THE PLANT STEMS OR TRUNK.
22. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
23. THE SITE IS LOCATED WITHIN THE TOWN'S AQUIFER PROTECTION DISTRICT AND ADJACENT TO THE TOWN'S WELL PROTECTION ZONE. THEREFORE, DO NOT USE NITROGEN CONTAINING FERTILIZERS, PESTICIDES OR CHEMICALS DURING PLANTING AND MAINTENANCE OF THE LANDSCAPING OR LAWN AREAS. ADDITIONALLY, DO NOT USE PESTICIDES OR HERBICIDES CONTAINING INORGANIC COMPOUNDS (IC) AS LISTED IN THE MASSACHUSETTS DRINKING WATER REGULATION (310 CMR 22.06), OR SYNTHETIC ORGANIC COMPOUNDS (SOC) OR VOLATILE ORGANIC COMPOUNDS (VOC) AS LISTED IN THE MASSACHUSETTS DRINKING WATER REGULATION (310 CMR 22.07).

GENERAL SEEDING NOTES:

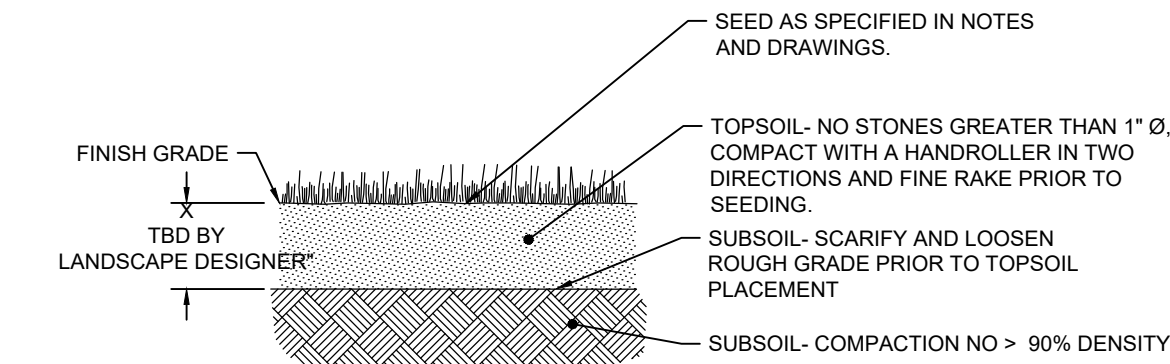
1. SEND A REPRESENTATIVE SAMPLE OF THE TOPSOIL TO A TESTING LABORATORY FOR STANDARD SOIL ANALYSIS AS DESCRIBED IN THE SPECIFICATIONS. SUBMIT TO THE LANDSCAPE ARCHITECT AND ENGINEER TEST RESULTS WITH RECOMMENDED SOIL TREATMENTS TO PROMOTE PLANT AND GRASS GROWTH. CORRECT DEFICIENCIES IN THE LOAM AND STOCKPILED TOPSOIL AS DIRECTED BY THE TESTING AGENCY.
2. ALL AREAS THAT ARE DISTURBED AND/OR GRADED DURING CONSTRUCTION ARE TO BE BROUGHT TO FINISHED GRADE WITH AT LEAST 4" MINIMUM DEPTH OF GOOD QUALITY LOAM AND SEEDED WITH A QUICK GERMINATING GRASS SEED SUCH AS NEW ENGLAND EROSION CONTROL RESTORATION MIX OR AS SPECIFIED ON THE PLANS.
3. PRIOR TO THE PLACEMENT OF TOP SOIL, LOOSEN THE SUBGRADE OF ALL PROPOSED SEED AREAS TO A DEPTH OF 6" AND RAKE TO REMOVE STONES LARGER THAN 1 INCH, STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE TO AN OFF SITE LOCATION.
4. DO NOT SPREAD TOPSOIL IF THE SUBGRADE IS FROZEN, EXCESSIVELY WET, COMPACTED OR NOT PROPERLY PREPARED PER THE NOTES AND SPECIFICATIONS.
5. SEE SPECIFICATIONS FOR SEASONAL REQUIREMENTS FOR SEEDING.

WATERING NOTES:

1. PROVIDE PROPER PLANT CARE, MAINTENANCE AND WATERING ON SITE UNTIL SUCH TIME AS THE LANDSCAPING IS ACCEPTED BY THE PROPERTY OWNER AS SATISFACTORY PER THE SPECIFICATIONS OR AS DETERMINED BY ANY WRITTEN AGREEMENTS BETWEEN THE CONTRACTOR AND PROPERTY OWNER.
2. ESTABLISH AN APPROPRIATE WATERING SCHEDULE FOR ALL PLANT MATERIAL BASED UPON PLANT SPECIES REQUIREMENTS AND SITE CONDITIONS. PROVIDE SCHEDULE IN WRITING TO THE LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL. ADHERE TO THE APPROVED SCHEDULE UNTIL PLANTS ARE FULLY ESTABLISHED.
3. AT A MINIMUM THE NEWLY SEEDED AND/OR HYDROSEEDED LAWNS SHOULD BE WATERED 2-3 TIMES A DAY. SPECIAL CARE SHOULD BE TAKEN TO ENSURE THAT THE LAWN IS NOT SATURATED DURING WATERING. IF AN IRRIGATION SYSTEM IS NOT PROVIDED, USE A TEMPORARY IRRIGATION SYSTEM OR HANDHELD GARDEN HOSE FOR WATERING SEEDED AREAS. THE AREA MUST BE MAINTAINED CONSISTENTLY MOIST FOR THE BEST GERMINATION RESULTS. ADDITIONAL WATERING MAY BE REQUIRED IF PLANTING AND SEEDING OCCUR OUTSIDE OF THE RECOMMENDED PLANTING SEASONS.

### PLANTING LAYOUT NOTES

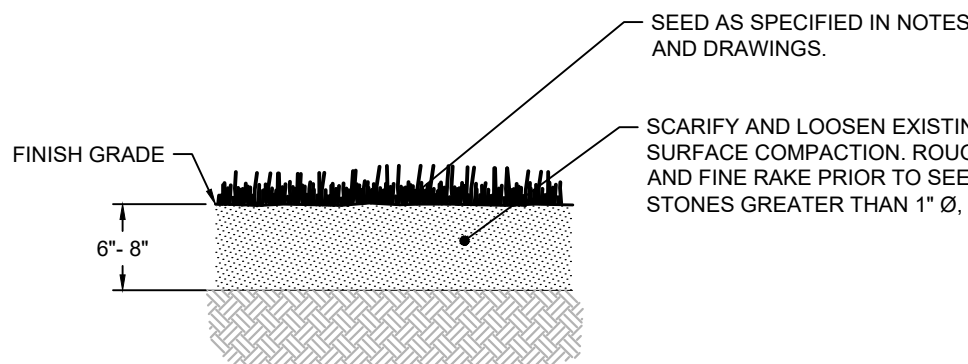
1. FOR AREAS WITH MIXED PERENNIALS AND/OR GRASSES (SHOWN AS HATCHED AREAS ON PLANS), DO NOT PLANT IN A PATTERN OR WITH LARGE AREAS OF THE SAME SPECIES. RANDOMLY PLANT AS INDICATED ON THE PLANTING PLANS INTO SMALL GROUPINGS OF THE SAME SPECIES TO CREATE A MORE NATURALISTIC APPEARANCE. PLANT THE SAME PLANT SPECIES IN GROUPS OF 3-7 AND NOT LARGER THAN 7, DEPENDING ON THE OVERALL NUMBER OF PLANTINGS.



NOTES:

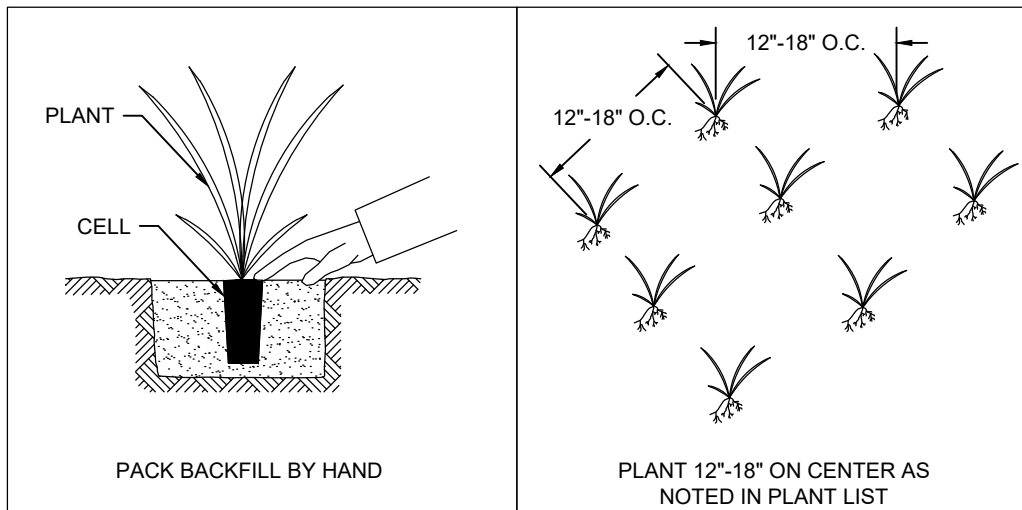
1. SEE LANDSCAPE GRADING SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
2. CONFIRM SUBGRADES ARE CORRECT AND POSITIVE DRAINAGE IS MAINTAINED PRIOR TO PLACEMENT OF TOPSOIL.
3. NOTIFY ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW OF SUBGRADE PRIOR TO PLACEMENT OF THE TOPSOIL.

**LOAM AND SEED**  
NOT TO SCALE

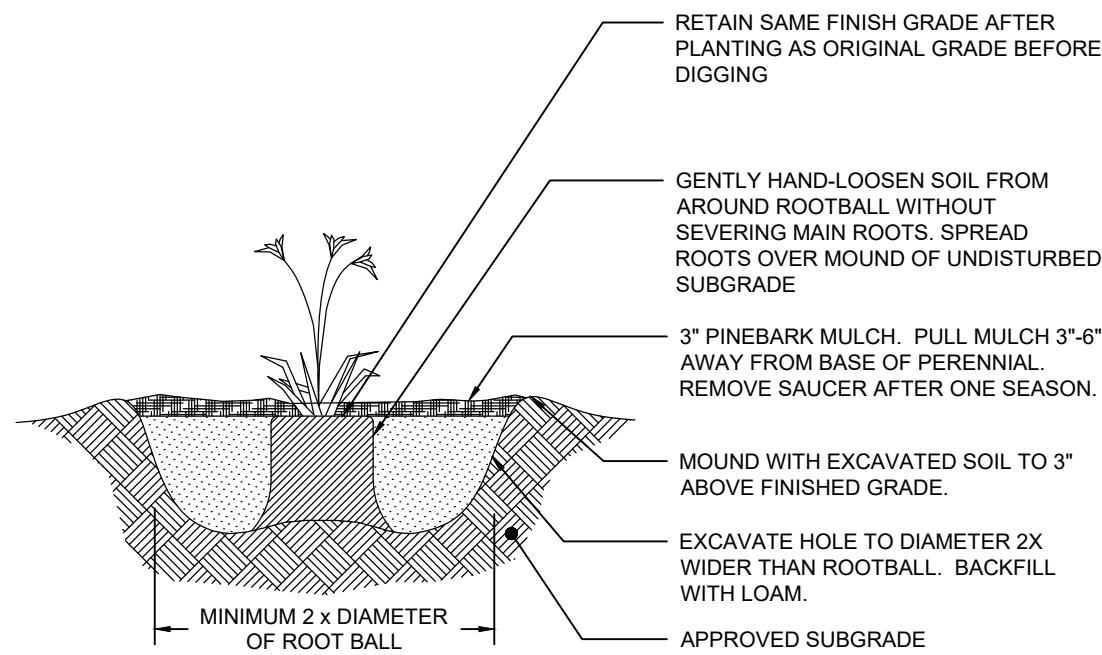


NOTES:  
1. NOTIFY ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO SEEDING.

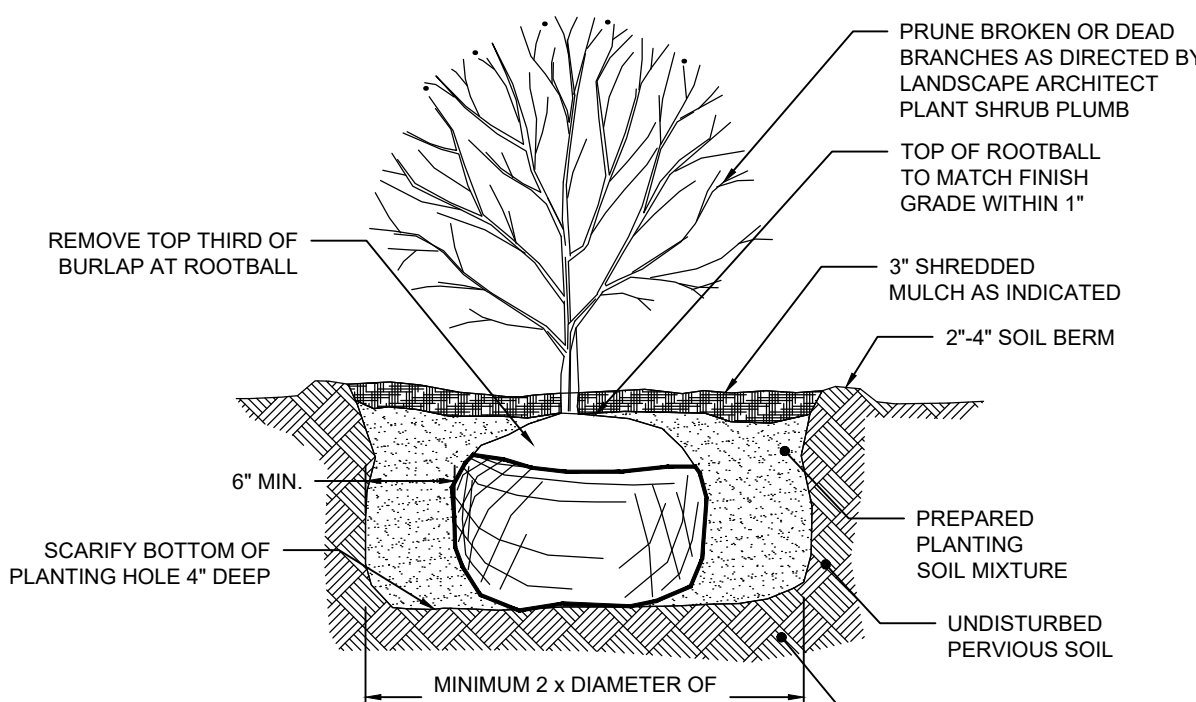
**RESTORATION SEEDING**  
NOT TO SCALE



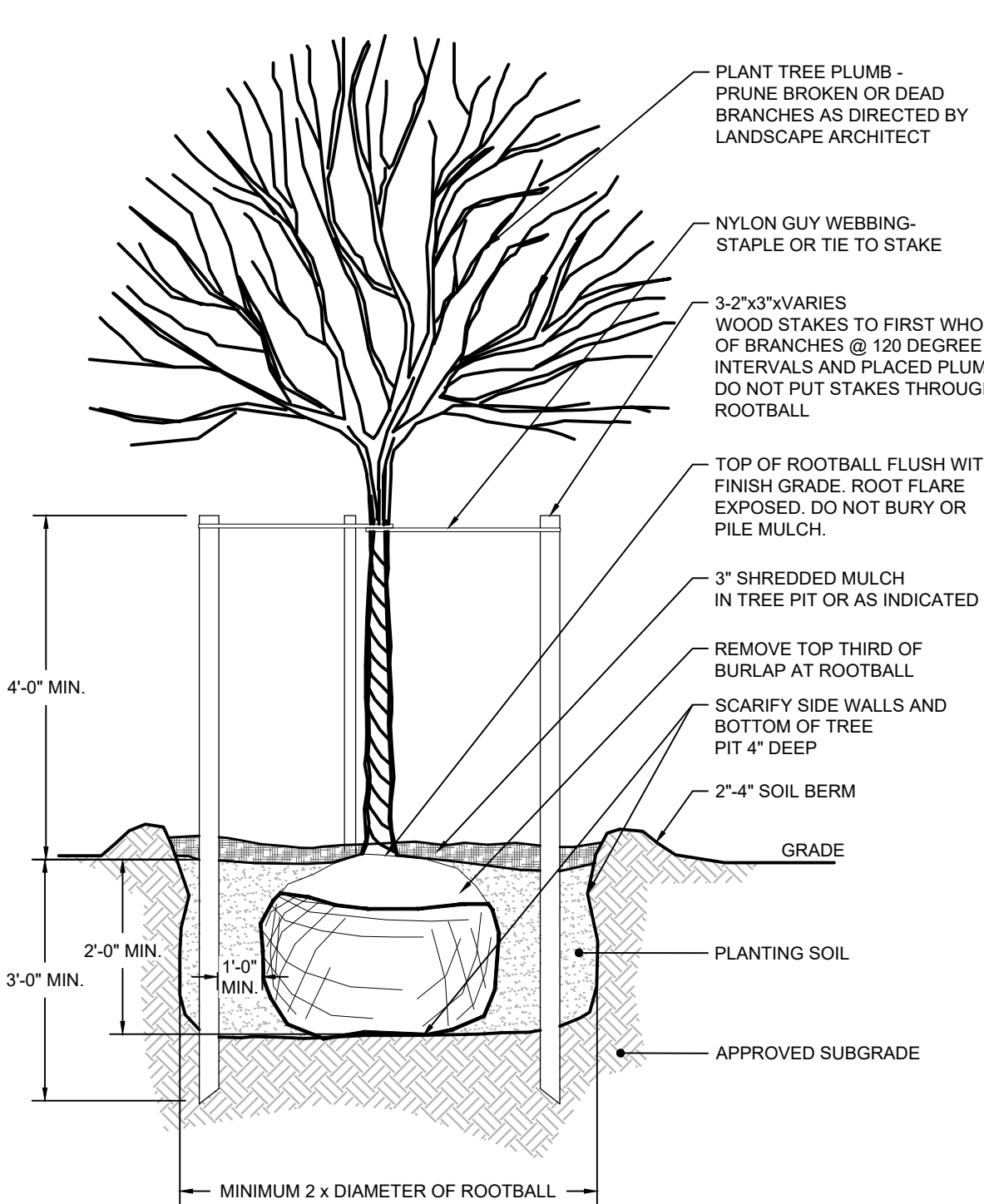
**PERENNIAL PLANTING**  
NOT TO SCALE



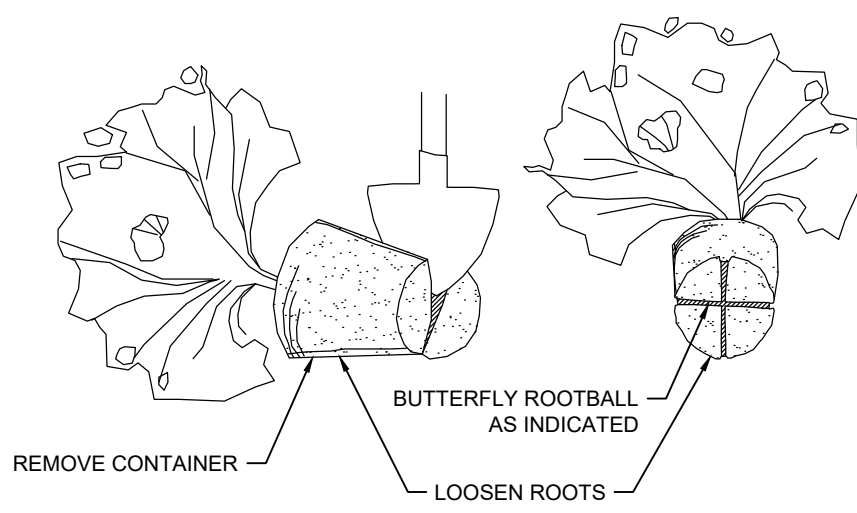
**PERENNIAL PLANTING**  
NOT TO SCALE



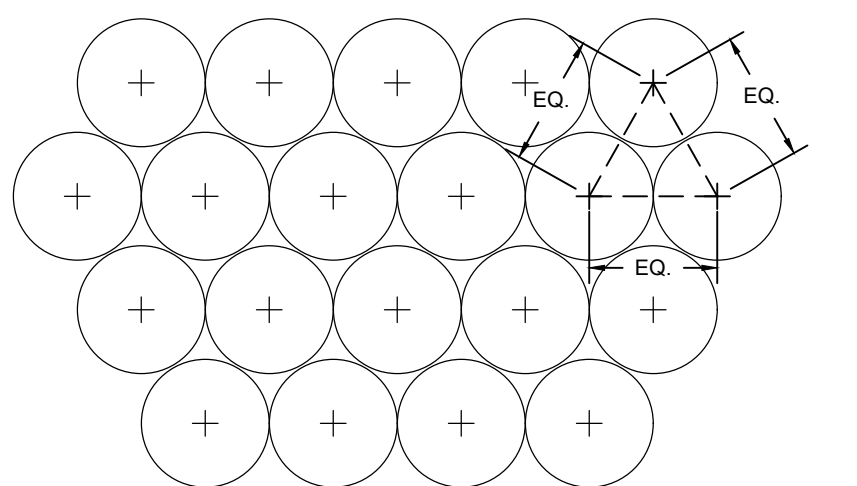
**SHRUB PLANTING**  
NOT TO SCALE



## DECIDUOUS TREE PLANTING



### CONTAINER PLANT ROOTBALL TREATMENT



USE EQUIDISTANT TRIANGULAR SPACING FOR PLANTS - FOR ACTUAL SPACING  
SEE PLANS OR PLANTING SCHEDULE

**PLANTING SPACING**  
NOT TO SCALE

DESIGN DEVELOPMENT ONLY  
NOT FOR CONSTRUCTION

<div><div>Project Number: 20008</div><div>Sheet: 16 of 16</div></div>										<div><div>Survey Provided By: Nantucket Surveyors LLC</div><div>5 Winny Way</div><div>Nantucket, MA</div><div>Phone: (508) 228-0240</div><div>Fax: ---</div><div>Dated: 6/30/2022</div></div>										<div><div>Registration:</div></div>										<div><div>The Nantucket Land Bank</div><div>22 Broad Street</div><div>Nantucket, MA</div><div>Phone: (508) 228-7240</div><div>Fax: ---</div></div>										<div><div>Plan Set:</div><div>LILY POND PARK IMPROVEMENTS</div><div>50% DESIGN DEVELOPMENT</div><div>NANTUCKET, MASSACHUSETTS</div></div>										<div><div>Plan Title:</div><div>PLANTING DETAILS</div></div>										<div><div>Date: FEBRUARY 2024</div><div>Designed By: EEB/JMP</div><div>Drawn By:</div><div>Checked By:</div></div>										<div><div>Revisions</div><table><tr><td>△</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</td><td>---</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# Lily Pond Park

Nantucket MA

Estimator: EEB

Date: 2/2024

Submission: Design Development - Opinion of Probable Costs

This opinion of probable costs is preliminary only and based on the schematic design dated February 2023, prepared by Horsley Witten Group.

Horsley Witten Group  
Sustainable Environmental Solutions



OPINION OF PROBABLE COSTS				
	UNIT	QTY	UNIT COST	TOTAL
SITE PREP AND MOBILIZATION			SUBTOTAL (rounded):	\$127,000
Construction Layout	LS	1	\$37,000	\$37,000
Mobilization	LS	1	\$90,000	\$90,000
WETLAND RESTORATION AREA 1 & 2			SUBTOTAL (rounded):	\$1,928,000
Erosion and Sediment Control				\$29,330
Silt Sock	LF	2000	\$13.00	\$26,000
Silt Sack	EA	1	\$225.00	\$225
E&S Repairs	LS	1	\$1,000.00	\$1,000
Stone Construction Entrance	CY	15	\$140.00	\$2,100
Site Clearing, Earthwork & Demo				\$448,180
R&D Structures	EA	4	\$2,100	\$8,400
Remove Pipe	LF	245	\$95	\$23,275
Clear and Grub	SY	9000	\$1	\$9,000
Excavation and Disposal	CY	2,300	\$80	\$184,000
Wetland Construction Access Matting	LS	1	\$100,500	\$100,500
Dewatering	LS	1	\$123,000	\$123,000
Restoration/Vegetation				\$497,000
Wetland Plants, Seed, Stabilization	SY	7100	\$70	\$497,000
Drainage Infrastructure				\$23,600
Manhole	EA	1	\$9,000	\$9,000
Outlet Control Structure	EA	1	\$14,600	\$14,600
Pathways & Surfaces				\$915,000
Boardwalk (no handrail)	LF	1425	\$600	\$855,000
Overlook Areas	SF	600	\$100	\$60,000
Site Elements				\$14,800
Seating	EA	7	\$1,400	\$9,800
Educational Signage	EA	2	\$2,500	\$5,000
WETLAND RESTORATION AREA 3			SUBTOTAL (rounded):	\$744,000
Erosion and Sediment Control				\$10,420
Silt Sock	LF	460	\$13.00	\$5,980
Silt Sock Maintenance	LS	1	\$250.00	\$250
Silt Sack	EA	6	\$225.00	\$1,350
Silt Sack Cleaning	EA	6	\$100.00	\$600
Stone Construction Entrance	CY	16	\$140.00	\$2,240

OPINION OF PROBABLE COSTS				
	UNIT	QTY	UNIT COST	TOTAL
<b>Site Clearing and Demo</b>				\$36,910
Tree Removal	EA	1	\$2,300	\$2,300
Clear and Grub	SY	1900	\$1	\$1,900
Remove and Stockpile Bricks	SF	1040	\$10	\$10,400
Remove Fence	SY	1900	\$1	\$1,900
Remove Existing Pipe	LF	170	\$95	\$16,150
Cut and Cap Pipe	EA	4	\$150	\$600
Remove Existing Structure	EA	1	\$2,100	\$2,100
Tree Protection Fence	LF	130	\$12	\$1,560
<b>Earthwork</b>				\$150,400
Excavation and Disposal	CY	1,000	\$60	\$60,000
Dewatering	LS	1	\$52,900	\$52,900
Retaining Wall (Flex MSE Bags)	SFF	375	\$100	\$37,500
<b>Infrastructure</b>				\$132,360
Water Quality Unit	EA	1	\$9,000	\$9,000
Manhole	EA	1	\$9,000	\$9,000
Diversion Structure	EA	2	\$12,000	\$24,000
New Pipe	LF	316	\$260	\$82,160
Outlet Structure - Flared End	EA	2	\$2,800	\$5,600
Drain Basin	EA	1	\$1,200	\$1,200
Rip Rap	CY	10	\$140	\$1,400
<b>Restoration/Vegetation</b>				\$106,600
Wetland Plants, Seed, Stabilization	SY	1000	\$70	\$70,000
Canopy Trees	EA	4	\$2,400	\$9,600
Shrubs - Small	EA	30	\$125	\$3,750
Shrubs - Large	EA	15	\$150	\$2,250
Ground Covers	LS	1	\$10,000	\$10,000
Seeding (upland)	SF	5500	\$2	\$11,000
<b>Pathways &amp; Surfaces</b>				\$294,940
Brick Paving	SF	1590	\$50	\$79,500
Crushed Stone Path	SF	785	\$32	\$25,120
Boardwalk (no handrail)	LF	185	\$600	\$111,000
Granite Curb	LF	194	\$130	\$25,220
Granite Weir	LF	15	\$130	\$1,950
Parking, Crushed Stone	SF	2526	\$10	\$25,260
Cobble Forebay	SF	66	\$40	\$2,640
Reinforced Turf (Maintenance Path)	SF	970	\$25	\$24,250
<b>Site Elements</b>				\$12,300
Seating	EA	2	\$1,400	\$2,800
Informational / Directional Sign	EA	1	\$1,500	\$1,500
Educational Signage	EA	1	\$2,500	\$2,500
Main Park Sign / Entrance	EA	1	\$5,500	\$5,500



OPINION OF PROBABLE COSTS				
	UNIT	QTY	UNIT COST	TOTAL
<b>WETLAND RESTORATION AREA 4</b>			<b>SUBTOTAL (rounded):</b>	<b>\$367,000</b>
<b>Erosion and Sediment Control</b>				\$12,250
Silt Sock	LF	680	\$13.00	\$8,840
Silt Sack	EA	1	\$225.00	\$225
Silt Sack Cleaning	EA	1	\$100.00	\$100
Stone Construction Entrance	CY	22	\$140.00	\$3,080
<b>Site Clearing &amp; Demo</b>				\$5,310
Clear and Grub	SY	1000	\$1	\$1,000
Remove Existing Pipe	LF	16	\$95	\$1,520
Saw Cut Asphalt	SF	35	\$5	\$175
Asphalt Remove	SF	100	\$5	\$500
Brick Walk - Removed and Re-laid	SF	44	\$48	\$2,112
<b>Earthworks</b>				\$45,000
Excavation and Disposal	CY	400	\$60	\$24,000
Dewatering	LS	1	\$21,000	\$21,000
<b>Drainage Infrastructure</b>				\$84,300
Hydraulic Separator (WQU 300)	EA	1	\$9,000	\$9,000
Hydraulic Separator (WQU 400)	EA	1	\$24,000	\$24,000
Manhole	EA	1	\$9,000	\$9,000
New Pipe	LF	125	\$260	\$32,500
Outlet Structure - Flared End	EA	3	\$2,800	\$8,400
Rip Rap	CY	10	\$140	\$1,400
<b>Restoration/Vegetation</b>				\$59,600
Wetland Plants, Seed, Stabilization	SY	800	\$70	\$56,000
Seeding (Upland)	SF	1800	\$2	\$3,600
<b>Pathways &amp; Surfaces</b>				\$160,500
Boardwalk (no handrail)	LF	250	\$600	\$150,000
Asphalt (Patch)	SF	100	\$105	\$10,500
<b>LILY STREET NORTH ENTRANCE PARKLET</b>			<b>SUBTOTAL (rounded):</b>	<b>\$58,000</b>
<b>Erosion and Sediment Control</b>				\$6,250
Silt Sock	LF	450	\$13.00	\$5,850
E&S Repairs	LS	1	\$400.00	\$400
<b>Site Clearing, Earthwork &amp; Demo</b>				\$4,950
Clear and Grub	SY	550	\$1	\$550
Trim & Fine Grade (Park Area)	SY	550	\$8	\$4,400
<b>Restoration/Vegetation</b>				\$30,200
Canopy Trees	EA	6	\$2,400	\$14,400
Buffer Shrubs	EA	30	\$160	\$4,800
Perennial / Ground Cover (Upland)	LS	1	\$5,000	\$5,000
Seeding (Upland)	SF	3000	\$2	\$6,000
<b>Pathways &amp; Surfaces</b>				\$5,880
Flagstone	SF	65	\$50	\$3,250
Stepping Stones	LF	75	\$35	\$2,625
<b>Site Elements</b>				\$10,500
Wooden Bollards	EA	3	\$200	\$600
Seating	EA	3	\$1,400	\$4,200
Boulders	EA	4	\$300	\$1,200
Informational Sign	EA	1	\$1,500	\$1,500
Park Entrance Sign (Medium)	EA	1	\$3,000	\$3,000

OPINION OF PROBABLE COSTS				
	UNIT	QTY	UNIT COST	TOTAL
<b>INVASIVE MANAGEMENT</b>			<b>SUBTOTAL (rounded):</b>	<b>\$73,000</b>
Pre Installation: Three Person Crew	Days	10	\$2,800	\$28,000
Post Installation: Three Person Crew	Days	16	\$2,800	\$44,800
<b>TOTAL ESTIMATED CONSTRUCTION COST</b>				<b>\$3,300,000</b>
General Requirements			10%	\$330,000
<b>SUBTOTAL:</b>				<b>\$3,630,000</b>
General Contractor's Overhead and Profit			12%	\$ 436,000
Contingencies			18%	\$ 654,000
Nantucket Escalation Factor			12%	\$ 436,000
<b>TOTAL ESTIMATED COST</b>				<b>\$5,156,000</b>
<b>HIGH AND LOW RANGE</b>				
High			15%	\$5,930,000
Low			-3%	\$5,002,000
Construction Documents and Bidding (includes Soil Characterization)			3.00%	\$154,680
Site Soil Characterization			1.30%	\$67,028
Construction Admin.			2.50%	\$128,900
<b>NOTES:</b> <b>Qualifications:</b> The following items are not included: Challenges related to onsite staging area(s) Police /Traffic details Soil Characterization and Management Plan Sheeting / Earth Support Site lighting, temporary water use or disposal of contaminated soils is not included.				
<b>Assumptions</b> 1. It is assumed the soil can be disposed at an on-island off-site location. 2. Costs for invasive treatement will vary depending on area and species treated. 3. Quantities provided are based on schematic design plans "Lily Pond Park, Nantucket MA - Park Restoration" February 2024, prepared by Horsley Witten Group. 3. Unit prices provided are based upon MassDOT 2023 unit costs, costs provided by a contractor, and the best available construction data. Unit prices are subject to change due to adjustments to material and labor costs, site conditions and inflation. 4. Subtotal and total prices are rounded up to nearest 1,000 5. Further design costs and construction documents are not included. 7. Conservation Commission, DEP, local or any other permitting required for construction is not included in the costs and will be needed.				

PHASING SENARIOS			
<b>PHASE 1 - Wetland Restoration Areas 1, 2 &amp; 3</b>		<b>SUBTOTAL (rounded):</b>	<b>\$2,799,000</b>
Mobilization & Site Prep		\$127,000	
Wetland Restoration 1 & 2		\$1,928,000	
Wetland Restoration 3		\$744,000	
<b>TOTAL ESTIMATED CONSTRUCTION COST</b>			<b>\$2,800,000</b>
General Requirements	15%		\$420,000
<b>SUBTOTAL:</b>			<b>\$3,220,000</b>
General Contractor's Overhead and Profit	12%	\$	387,000
Contingencies*	20%	\$	644,000
Nantucket Escalation Factor	12%	\$	387,000
<b>TOTAL ESTIMATED COST</b>			<b>\$4,638,000</b>
*Notes: Additional Contingency for the likely need to restore areas outside phase one and creating connections at critical access points.			
<b>PHASE 2 - Wetland Restoration Area 4</b>		<b>SUBTOTAL (rounded):</b>	<b>\$398,750</b>
Mobilization & Site Prep (25% of Overall)		\$31,750	
Wetland Restoration 1 & 2		\$367,000	
<b>TOTAL ESTIMATED CONSTRUCTION COST</b>			<b>\$400,000</b>
General Requirements*	20%		\$80,000
<b>SUBTOTAL:</b>			<b>\$480,000</b>
General Contractor's Overhead and Profit	12%	\$	58,000
Contingencies*	30%	\$	144,000
Nantucket Escalation Factor	12%	\$	58,000
Escalation	4%	\$	20,000
<b>TOTAL ESTIMATED COST</b>			<b>\$760,000</b>
*Notes: Additional General Requirements for potential issues with access, staging and storage Additional Contingency for the likely need to duplicate wetland access matting and E & S Additional escalation included to account for increased costs.			
<b>PHASE 3 - North Liberty Street Parklet</b>		<b>SUBTOTAL (rounded):</b>	<b>\$70,700</b>
Mobilization & Site Prep (10% of Overall)		\$12,700	
Wetland Restoration 1 & 2		\$58,000	
<b>TOTAL ESTIMATED CONSTRUCTION COST</b>			<b>\$80,000</b>
General Requirements*	18%		\$14,400
<b>SUBTOTAL:</b>			<b>\$94,400</b>
General Contractor's Overhead and Profit	12%	\$	12,000
Contingencies*	20%	\$	19,000
Nantucket Escalation Factor	12%	\$	12,000
Escalation	8%	\$	8,000
<b>TOTAL ESTIMATED COST</b>			<b>\$145,400</b>
*Notes: Additional General Requirements for potential issues with access, staging and storage Additional Contingency for the likely need to duplicate wetland access matting and E & S Additional escalation included to account for increased costs.			
Phase 1:			\$4,638,000
Phase 2:			\$760,000
Phase 3:			\$145,400
Invasive Treatment:			\$73,000
<b>SUBTOTAL:</b>			<b>\$5,616,400</b>
<b>Additional Expenses for Phasing:</b>			<b>\$460,400</b>

Notes: This is a simplified way to phase the project which keeps majority of the construction for the center area and North Liberty Street occurring at the same time. Breaking the site into more phases will create additional costs with mobilization, duplication of wetland access material and potential staging, access and storage issues.

TRANSFER BUSINESS  
Nantucket Land Bank Commission  
Regular Meeting of March 12, 2024

1. February 2024 Transfers – Record Nos. 46242 through 46287

a. “M” Exemption Update: Two Year Domicile Extension Request

No. 44289 Christopher Mark Gould

**Nantucket Islands Land Bank**

**Transfers by Month Report**

No.	DATE	MAP	PAR	LOCATION	BUYER	SELLER	R	B	V	O	AC	PRICE	PAID	EX
46242	2/1/2024	0041	1201	DELANEY RD, 10A	LAUKIEN	ARI REAL ESTATE LLC	-1	0	0	0	0.16	\$5,800,000.00	\$116,000.00	
46243	2/2/2024	4241	105	WALSH ST, 23	BEDNAR/GUSTIN	HAROLD BROTHERS REAL	-1	0	0	0	0.12	\$4,937,500.00	\$98,750.00	
46244	2/2/2024	5514	037	WASHINGTON ST, 103	SAYLE 99 WASHINGTON	SAYLE 103 WASHINGTON	0	-1	0	0	0.13	\$0.00	\$0.00	I
46245	2/2/2024	5514	013	WASHINGTON ST, 114	SAYLE 114 WASHINGTON	SAYLE 114 WASHINGTON	-1	0	0	0	0.10	\$0.00	\$0.00	I
46246	2/2/2024	0067	409	ALEXANDIA DR, 8	SAYLE 8 ALEXANDIA LL	SAYLE 8 ALEXANDIA TR	-1	0	0	0	0.24	\$0.00	\$0.00	I
46247	2/2/2024	4244	028	W CHESTER ST, 13	13 WEST CHESTER STRE	ROBERT TAYLOR BREED	-1	0	0	0	0.14	\$0.00	\$0.00	I
46248	2/5/2024	0068	7532	DAFFODIL LN, 13B	RYBACK	RYBACK	-1	0	0	0	0.18	\$0.00	\$0.00	C
46249	2/5/2024	0080	407	SASEMIN WY, 3	PATRICIA R HARDING R	HARDING	-1	0	0	0	0.15	\$0.00	\$0.00	D
46250	2/6/2024	5544	322	JOY ST, 7	JAMIE B KAPLIN TRUST	KAPLAN	-1	0	0	0	0.11	\$0.00	\$0.00	D
46251	2/6/2024	0041	1322	N LIBERTY ST, 78	78 NORTH LIBERTY STR	HENDERSON	-1	0	0	0	0.43	\$0.00	\$0.00	I
46252	2/6/2024	0021	052	QUIDNET RD, 36	STEWARDSON FAMILY LL	STEWARDSON FAMILY LL	-1	0	0	0	1.00	\$0.00	\$0.00	C
46253	2/6/2024	0021	052	QUIDNET RD, 36	STEWARDSON FAMILY LL	STEWARDSON FAMILY LL	-1	0	0	0	1.00	\$0.00	\$0.00	C
46254	2/7/2024	0049	166	BURNELL ST, 52	LA BARCA REALTY TRUS	LA BARCA REALTY TRUS	-1	0	0	0	2.00	\$0.00	\$0.00	C
46255	2/7/2024	0069	204	PARK CI, 12B	AMBROSE	AMBROSE	0	0	0	-1	0.00	\$0.00	\$0.00	K
46256	2/9/2024	4244	028	W CHESTER ST, 13	13 WEST CHESTER STRE	13 WEST CHESTER STRE	-1	0	0	0	0.21	\$0.00	\$0.00	C
46257	2/13/2024	0068	4702	WITHERSPOON DR, 4B	RENZULLI	DESTEFANO	0	0	0	-1	0.00	\$1,387,500.00	\$27,750.00	
46258	2/13/2024	0075	039	JONATHAN WY, 5	5 JONATHAN WAY LLC	MARCUS DEAN FULLER R	-1	0	0	0	1.10	\$0.00	\$0.00	I
46259	2/14/2024	0055	534	YOMPASHAM LN, 7	HAPPY HOUSE ACK LLC	HOWARD B CHADWICK JR	-1	0	0	0	0.25	\$2,262,500.00	\$45,250.00	
46260	2/14/2024	0068	4711	WITHERSPOON DR, 6A	RENZULLI	RENZULLI	0	0	0	-1	0.00	\$0.00	\$0.00	C
46261	2/15/2024	0029	098	WALSH ST, 56	LAMBERT	56 WALSH REALTY TRUS	-1	0	0	0	0.11	\$5,000,000.00	\$100,000.00	
46262	2/15/2024	4231	048	ORANGE ST, 13	13 ORANGE STREET LLC	PALANDJIAN	-1	0	0	0	0.14	\$0.00	\$0.00	I
46263	2/15/2024	0054	0261	POLPIS RD, 59B	HAMSON	CAGGIANO	-1	0	0	0	0.97	\$5,400,000.00	\$108,000.00	
46264	2/15/2024	0068	523	CURLEW CT, 8	DESTEFANO	JORDAN, EST, LUCILLE	-1	0	0	0	0.11	\$2,175,000.00	\$43,500.00	
46265	2/16/2024	0041	071-	CLIFF RD, 158	156 CLIFF ROAD NOMIN	158 CLIFF ROAD NOMIN	0	0	-1	0	0.14	\$376,561.76	\$7,531.24	
46266	2/16/2024	0041	836-	CLIFF RD, 156	158 CLIFF ROAD NOMIN	156 CLIFF ROAD NOMIN	0	0	-1	0	0.13	\$284,180.72	\$5,683.61	
46267	2/16/2024	0041	836-	CLIFF RD, 156	160 CLIFF ROAD NOMIN	156 CLIFF ROAD NOMIN	0	0	-1	0	0.11	\$247,016.72	\$4,940.33	
46268	2/20/2024	0066	264	EQUATOR DR, 7	LOFTUS BROTHERS LLC	LOFTUS	-1	0	0	0	0.46	\$0.00	\$0.00	I
46269	2/21/2024	6031	013-	MASSACHUSETTS AV, 37	GOODNOW REALTY TRUST	GOODNOW	0	0	0	-1	0.00	\$0.00	\$0.00	D
46270	2/22/2024	0066	344	SPINNAKER CI, 6	GOODNOW REALTY TRUST	GOODNOW	-1	0	0	0	0.49	\$0.00	\$0.00	D

No.	DATE	MAP	PAR	LOCATION	BUYER	SELLER	R	B	V	O	AC	PRICE	PAID	EX
46271	2/22/2024	0080	030	PLUM ST, 15	15 PLUM NOMINEE TRUS	15 PLUM NOMINEE TRUS	-1	0	0	0	0.61	\$0.00	\$0.00	I
46272	2/22/2024	4223	026	FRANCIS ST, 5	5 FRANCIS STREET LLC	PATE	-1	0	0	0	0.12	\$3,252,500.00	\$65,050.00	
46273	2/22/2024	5544	068	JOY ST, 3	GREGORY J ALCORN REV	SZWAJKOWSKI/MILLER	-1	0	0	0	0.25	\$3,720,000.00	\$74,400.00	
46274	2/23/2024	0066	397	TOPPING LIFT, 7	LEVINE	LEVINE	-1	0	0	0	0.40	\$0.00	\$0.00	C
46275	2/23/2024	0055	006	ATLANTIC AV, 21	PORTER	PORTER	-1	0	0	0	0.13	\$224,000.00	\$4,480.00	
46276	2/26/2024	0063	001+	SHEEP POND RD, 4 ,6	MADDIGAN	SHEEP POND ROAD LLC	-1	0	-1	0	2.46	\$600,000.00	\$12,000.00	
46277	2/26/2024	0041	4481	MEADOW LN, 11A	2 MA CHICKADEE LLC	2 MA CHICKADEE LLC	-1	0	0	0	0.46	\$1,255,000.00	\$25,100.00	
46278	2/26/2024	0041	4481	MEADOW LN, 11A	2 MA CHICKADEE LLC	2 MA CHICKADEE LLC	-1	0	0	0	0.46	\$1,255,000.00	\$25,100.00	
46279	2/26/2024	4241	105	WALSH ST, 23	CCW LLC	BEDNAR/GUSTIN	-1	0	0	0	0.12	\$0.00	\$0.00	I
46280	2/27/2024	0067	245	PINE GROVE RD, 5	MURPHY/TYLER	MURPHY	-1	0	0	0	0.23	\$0.00	\$0.00	C
46281	2/27/2024	0032	031	EEL POINT RD, 76	3 STAR FARM LLC	DIONIS REALTY TRUST	0	0	-1	0	13.79	\$12,000,000.00	\$240,000.00	
46282	2/27/2024	4243	034	GAY ST, 9	NANTUCKET SANDPIPER	9 GAY STREET NOMINEE	-1	0	0	0	0.07	\$0.00	\$0.00	D
46283	2/28/2024	0594	046	ARKANSAS AV, 19	GLUCK	SHAPIRO/LENZI	0	0	0	-1	0.00	\$22,000.00	\$440.00	
46284	2/29/2024	0011	032	WAUWINET RD, 122	GOLDENEYE LLC	LITTLE CORNER, LLC	-1	0	0	0	1.08	\$5,600,000.00	\$112,000.00	
46285	2/29/2024	0030	617	DELANEY RD, 14	STRAWBERRY POINT LLC	RINNIER	-1	0	0	0	0.11	\$4,295,000.00	\$85,900.00	
46286	2/29/2024	0030	1641	SHERBURNE TP, 22	22 SHERBURNE TURNPIK	22 SHERBURNE TURNPIK	-1	0	0	0	0.12	\$0.00	\$0.00	D
46287	2/29/2024	0038	023+	EEL POINT RD, 202	202 EPR REALTY TRUST	202 EPR REALTY TRUST	-1	0	-1	0	7.71	\$0.00	\$0.00	I
GRAND TOTALS							-36		-6			\$60,093,759.20		
								-1		-5		38.1	\$1,201,875.18	

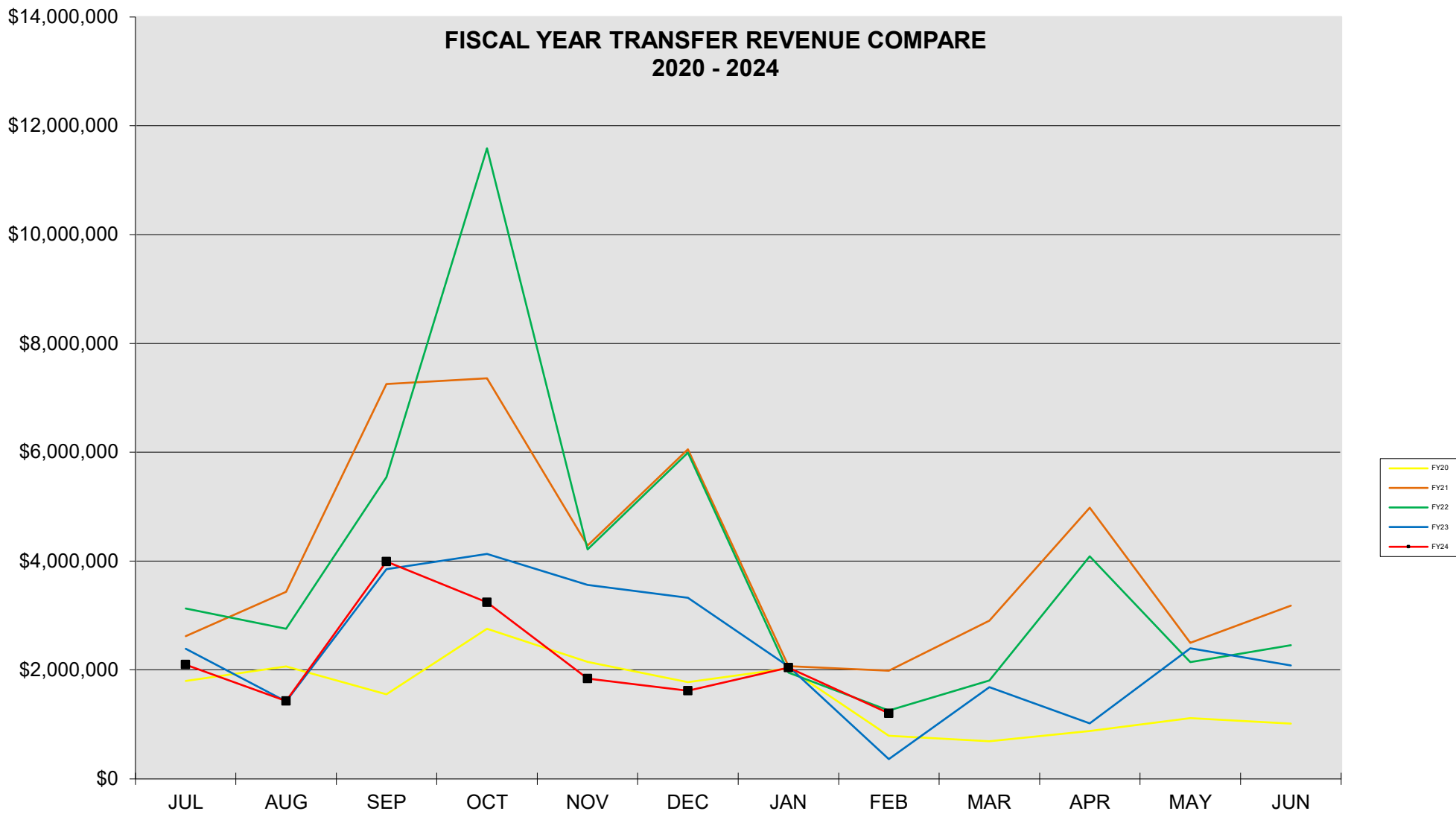


### MONTHLY TRANSFER STATISTICS FISCAL YEAR 2023

FY23	Total	Exempt	Taxable	Total Gross	Gross	Revenue
Month	Transfers	Transfers	Transfers	Value	Value Taxable	Received
Jul-22	79	48	31	\$124,164,276	\$119,014,276	\$2,387,886
Aug-22	81	57	24	\$84,455,392	\$70,037,323	\$1,417,575
Sep-22	85	41	44	\$199,748,058	\$192,528,058	\$3,850,561
Oct-22	97	38	59	\$216,160,950	\$206,610,950	\$4,132,219
Nov-22	88	43	45	\$186,319,400	\$178,167,500	\$3,563,350
Dec-22	117	59	58	\$178,569,358	\$165,994,358	\$3,325,661
Jan-23	69	50	19	\$105,949,500	\$103,160,414	\$2,063,208
<b>Feb-23</b>	<b>61</b>	<b>48</b>	<b>13</b>	<b>\$19,474,665</b>	<b>\$17,669,500</b>	<b>\$361,890</b>
Mar-23	72	46	26	\$90,080,762	\$84,013,251	\$1,680,265
Apr-23	50	33	17	\$52,530,610	\$50,810,810	\$1,016,216
May-23	82	46	36	\$123,501,599	\$119,844,099	\$2,396,882
Jun-23	60	36	24	\$110,778,641	\$104,152,130	\$2,083,043
THRU FEB 23	677	384	293	\$1,114,841,599	\$1,053,182,379	\$21,102,350
Average	80	45	33	\$124,311,101	\$147,930,411	\$2,356,563
Low	50	33	13	\$19,474,665	\$17,669,500	\$361,890
High	117	59	59	\$216,160,950	\$206,610,950	\$4,132,219

### MONTHLY TRANSFER STATISTICS FISCAL YEAR 2024

FY24	Total	Exempt	Taxable	Total Gross	Gross	Revenue
Month	Transfers	Transfers	Transfers	Value	Value Taxable	Received
Jul-23	75	49	26	\$110,131,693	\$104,912,515	\$2,098,250
Aug-23	64	32	32	\$78,042,000	\$71,417,000	\$1,428,340
Sep-23	93	46	47	\$199,648,798	\$199,548,798	\$3,990,976
Oct-23	101	56	45	\$170,787,010	\$162,137,010	\$3,242,740
Nov-23	79	51	28	\$92,790,100	\$91,990,100	\$1,840,004
Dec-23	76	50	26	\$87,561,537	\$80,894,700	\$1,617,894
Jan-24	72	42	30	\$109,580,517	\$102,178,767	\$2,043,575
<b>Feb-24</b>	<b>46</b>	<b>26</b>	<b>20</b>	<b>\$60,093,759</b>	<b>\$60,093,759</b>	<b>\$1,201,875</b>
Mar-24						
Apr-24						
May-24						
Jun-24						
THRU FEB 24	606	352	254	\$908,635,414	\$873,172,648	\$17,463,655
Average	76	44	32	\$113,579,427	\$109,146,581	\$2,182,957
Low	46	26	20	\$60,093,759	\$60,093,759	\$1,201,875
High	101	56	47	\$199,648,798	\$199,548,798	\$3,990,976



**NANTUCKET LAND BANK COMMISSION WORKSHEET**  
**UNAUDITED FINANCIAL REPORT as of January 31, 2024**

**STATEMENT OF ACCOUNTS - UNRESTRICTED FUNDS**

	DEC YIELD	JAN YIELD	12/31/2023	1/31/2024
Nantucket Bank / Operating Fund x8888	0.00	0.00	\$49,196.95	\$115,001.41
Nantucket Bank / Collection Account x7653	4.07	4.07	\$32,810,475.81	\$33,161,446.75
Nantucket Bank / Special CD x1135 <i>matures 11/20/2024</i>	4.88	4.88	\$5,229,624.96	\$5,259,071.72
<b>TOTAL UNRESTRICTED FUNDS:</b>			<b>\$38,089,297.72</b>	<b>\$38,535,519.88</b>

**STATEMENT OF ACCOUNTS - RESTRICTED FUNDS**

	DEC YIELD	JAN YIELD	12/31/2023	1/31/2024
US Bank / Series A Bonds Reserve Fund / SLGS <i>mature 12/1/27 &amp; 2/15/32 MktVal</i>	2.93	2.93	\$1,531,856.44	\$1,533,778.63
US Bank / Series A Bonds Debt Service Fund <i>x1002</i>	0.00	0.00	\$20,914.21	\$410,120.60
US Bank / Acquisition Fund <i>x1003</i>	0.00	0.00	\$1.10	\$1.10
Nantucket Bank / WTCA Escrow	0.25	0.25	\$16,003.40	\$16,006.79
Nantucket Bank / SHAC Escrow <i>x7038</i>	0.25	0.25	\$21,699.91	\$21,704.50
Nantucket Bank / NFRM Escrow <i>x9058</i>	0.25	0.25	\$10,012.58	\$10,014.70
Nantucket Bank / CSMF (Industrial Pk Mitigation) Escrow <i>x1457</i>	0.25	0.25	\$28,035.23	\$28,041.17
Nantucket Bank / Nabalus Escrow <i>x1473</i>	0.25	0.25	\$1,667.03	\$1,667.38
Nantucket Bank / MGC Golf Capital Reserve	0.25	0.25	\$132,782.85	\$132,810.97
Nantucket Bank / SGC Capital Reserve	0.25	0.25	\$822,443.98	\$822,618.13
Nantucket Bank / NGM Management Reserve CD <i>matures 1/12/25</i>	0.25	4.40	\$50,121.60	\$50,125.37
Hingham Savings / Marble Reserve CD <i>matures 7/3/2024</i>	4.97	4.97	\$235,879.49	\$236,874.53
Citizens Bank / Verrill Dana Acquisition Escrow			\$0.00	\$0.00
<b>TOTAL RESTRICTED FUNDS:</b>			<b>\$2,871,417.82</b>	<b>\$3,263,763.87</b>
<b>TOTAL FUNDS:</b>			<b>\$40,960,715.54</b>	<b>\$41,799,283.75</b>

<b>BONDS:</b>	<b>Principal Outstanding</b>	<b>Payment Due</b>	<b>Annual Payments</b>
2012 Series A Issue <i>(Final principal payment 2/15/2032)</i>	\$3,435,000	<i>Principal and Interest due 2/15/24, Interest due 8/15/24</i>	\$424,912.50
2016 Series A Refunding Bond <i>(Final principal payment 12/1/2027)</i>	\$3,980,000	<i>Interest due 6/1/24, Principal and Interest due 12/1/24</i>	\$1,064,400.00
<b>TOTAL BONDS:</b>	<b>\$7,415,000</b>	<b>TOTAL ANNUAL BOND PAYMENTS:</b>	<b>\$1,489,312.50</b>

<b>NOTES:</b>	<b>Principal Outstanding</b>	<b>Payment Due</b>	<b>Annual Payments</b>
Marble Note #19	\$1,700,000	<i>Interest of \$25,768.60 due 12/9/23, 3/9/24, 6/9/24, 9/9/24</i>	\$103,074.40
<b>TOTAL NOTES:</b>	<b>\$1,700,000</b>	<b>TOTAL ANNUAL NOTE PAYMENTS:</b>	<b>\$103,074.40</b>
<b>TOTAL DEBT:</b>	<b>\$9,115,000</b>	<b>TOTAL ANNUAL DEBT PAYMENTS:</b>	<b>\$1,592,386.90</b>



**APPLICATION FOR THE INSTALLATION OF COMMEMORATIVE PLAQUES,  
BENCHES, ROCKS, & TREES ON NANTUCKET LAND BANK PROPERTIES**

**APPLICANT NAME:** Barry G. Rector - President NARA\*  
**MAILING ADDRESS:** PO Box 3377 Nantucket, MA 02584  
**NANTUCKET ADDRESS:** 14 Somerset Lane  
**TELEPHONE:** (508)-776-2488 cell ( )- - - home ( )- - - work  
**E-MAIL:** barry\_rector@verizon.net

**Name of Person(s) on Plaque:** Francis W. Pease

**Please describe the connection of the person(s) to the preferred location:**

Mr. Pease donated his property to Land Bank, whereby a  
Community Garden was established.

**Please check type of plaque<sup>1</sup> etc...:**

- ☐ Plaque on existing bench    ☐ New bench with plaque    ☒ New Rock with Engraving  
☐ Plaque on existing tree    ☐ Plaque on new tree    ☐ Plaque on existing Rock  
☐ OTHER: \_\_\_\_\_

**Wording on plaque:**

Francis Pease  
NM1X0

(NARA Logo)

**Approved/Denied:** \_\_\_\_\_

Executive Director

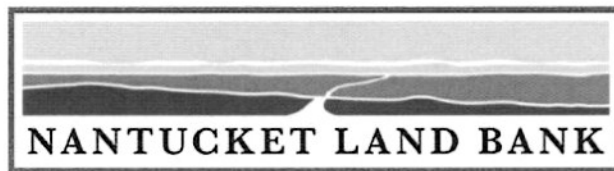
**Date:** \_\_\_\_\_

**Comments:**

Francis was a friend to many, including those who are HAM Radio Operators. We would like to have a commemorative memorial established for his many years of service to the HAM Radio community on Nantucket. The HAM Radio Operators are official members of NARA (Nantucket Amateur Radio Association).

<sup>1</sup> Land Bank Staff should be consulted as to type of plaque, bench, rock, and tree to ensure compatibility with the environment of the preferred location.

We would like to purchase and place a commemorative rock w/engraving. We would need to also discuss the size & material of the rock as well as siting and especially pricing. Thank you in advance



## REQUESTS FOR TEMPORARY PRIVATE EVENT USE ON NANTUCKET LAND BANK PROPERTIES

The Land Bank Commission will allow small, short, simple ceremonies with minimal set up (no tents, no amplified music, a few chairs for guests who cannot be expected to stand, and preferably fewer than 35 guests). Carpooling is strongly encouraged. Depending upon the size and scope, your request will either be reviewed internally by Staff or at a Land Bank Commission meeting after which you will be notified regarding approval status. All commercial events require payment of a \$100 fee, EXCEPT filming which requires a \$250/day fee.

**PLEASE NOTE THAT THE LAND BANK'S APPROVAL IS CONTINGENT UPON ALL OTHER APPLICABLE TOWN PERMITS HAVING BEEN OBTAINED.<sup>1</sup>**

APPLICANT NAME: Sustainable Nantucket  
MAILING ADDRESS: Po Box 1244 02554  
TELEPHONE: (508)-228-3399 E-MAIL: psie@sustainablenantucket.org

Proposed Location of EVENT: 168 Hummock Pond Rd.  
DATE of EVENT: 7/24/24 TIME of EVENT: 5:30 - 10 pm  
Description / Anticipated # of attendees friends, family, catering staff: Total 300 Guests (estimated)  
30 Kitchen, bartending, waitstaff

PLEASE DESCRIBE THE EVENT (theme, scope, duration, installation, food and beverage ...):

- Use of Gardner Farm for valet parking.  
- Cocktails + silent auction for 300 Total. Sit down dinner for 230. Nantucket Catering Co. served sit down, tented meal. Liveband and live auction during dinner.  
Craft cocktails, beer & wine served.  
Event license, pour permit + police detail will be secured.

\*\*\*\*\*

Approved/Denied: \_\_\_\_\_ Date: \_\_\_\_\_

Executive Director

Approval date

Staff Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>1</sup> Applicants must be in full compliance with Health Department, Fire, Police, and Natural Resources regulations. Contact Town of Nantucket Events Coordinator, Marina Dzvonik at 508-325-4166 or by email to [mdzvonik@police.nantucket-ma.gov](mailto:mdzvonik@police.nantucket-ma.gov)





## REQUESTS FOR TEMPORARY PRIVATE EVENT USE ON NANTUCKET LAND BANK PROPERTIES

The Land Bank Commission will allow small, short, simple ceremonies with minimal set up (no tents, no amplified music, a few chairs for guests who cannot be expected to stand, and preferably fewer than 35 guests). Carpooling is strongly encouraged. Depending upon the size and scope, your request will either be reviewed internally by Staff or at a Land Bank Commission meeting after which you will be notified regarding approval status. All commercial events require payment of a \$100 fee, EXCEPT filming which requires a \$250/day fee.

**PLEASE NOTE THAT THE LAND BANK'S APPROVAL IS CONTINGENT UPON ALL OTHER APPLICABLE TOWN PERMITS HAVING BEEN OBTAINED!**

**APPLICANT NAME:** Hospital Thrift Shop, Inc.  
**MAILING ADDRESS:** P.O. Box 3 Nantucket MA 02554  
**TELEPHONE:** (508) 228-1125 **E-MAIL:** manager@hospitalthriftshop@gmail.com

**Proposed Location of EVENT:** Long Pond Landing  
**DATE of EVENT:** Thursday 5/16 - 5/20 **TIME of EVENT:** 8AM - 9AM

**Description / Anticipated # of attendees** friends, family, catering staff: HTS Volunteers will be on site to accept donations. People will be in and out of the parking area.

**PLEASE DESCRIBE THE EVENT** (theme, scope, duration, installation, food and beverage ...):

HTS would like to continue to offer a donation drop off site in Madaket similar to what we have been doing in Scorton Tuesday.  
The short time we did it last year in Madaket, it was very much appreciated by Madaket residents

\*\*\*\*\*

**Approved/Denied:** \_\_\_\_\_

Executive Director

**Date:** \_\_\_\_\_

Approval date

**Staff Comments:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> Applicants must be in full compliance with Health Department, Fire, Police, and Natural Resources regulations. Contact Town of Nantucket Events Coordinator, Marina Dzvonik at 508-325-4166 or by email to

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## Agenda Item Summary

Agenda Item #	Click or tap here to enter text.
Date	3.12.24

### Staff

Rachael Freeman

### Subject

158 Orange Street Access Request

### Executive Summary

Mike Misurelli of J&M Landscape approached the Land Bank with a request for a Holgate Partner's truck mounted crane to drive onto the property at 158 Orange Street to place a spa on the adjacent lot at 156 Orange Street. Please see the attached map for further understanding of the route. Enviromats will be placed on all areas to prevent any damage to the site and J&M Landscape Services will do any necessary site repairs should damage occur. The access is requested for a total of 3 hours.

### Staff Recommendation

Staff met with the contractor on site and support approving this request.

### Background/Discussion

There is an existing easement that permits emergency vehicles to drive down the road on Land Bank property at 158 Orange St to access 156 Orange St. Additionally, there is no alternative route to install the spa in the proposed location.

Impact: Environmental ☒ Fiscal ☐ Community ☒ Other ☐

There is potential for the truck to damage the gravel drive and lawn area. There may be some impacts to public access during the 3-hour window the truck is on site.

### Board/Commission Recommendation

Click or tap here to enter text.

### Public Outreach

The Ottison's will need to be notified if this request is approved.





## Connection to Existing Applicable Plan, Program, or Policy

N/A

## Attachments

Click or tap here to enter text

